



NOTE: 3D RENDERINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY. NOT TO BE USED FOR CONSTRUCTION.

PROJECT DATA

PROJECT DESCRIPTION: A FOUR-STORY BUILDING WITH 8 RESIDENTIAL UNITS AND 10 PARKING SPACES. 1 RESIDENTIAL UNIT SHALL BE AN AFFORDABLE RESIDENTIAL UNIT. ALL EXISTING STRUCTURES ON-SITE TO BE DEMOLISHED.

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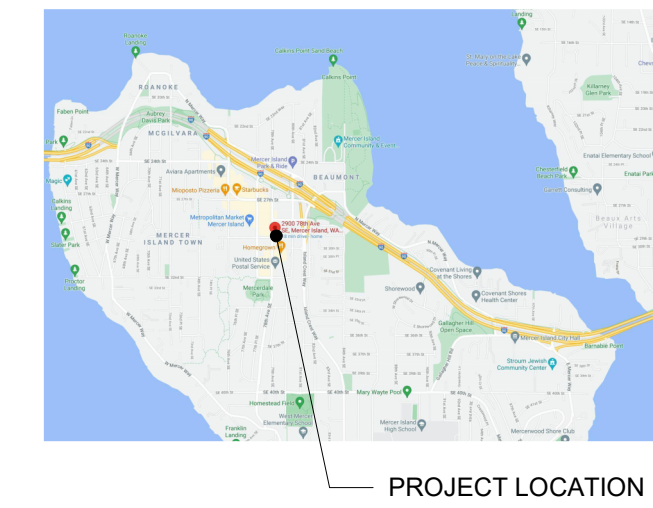
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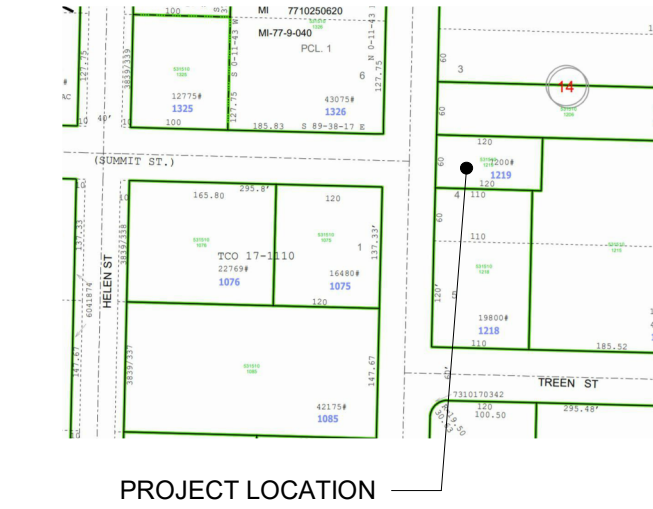
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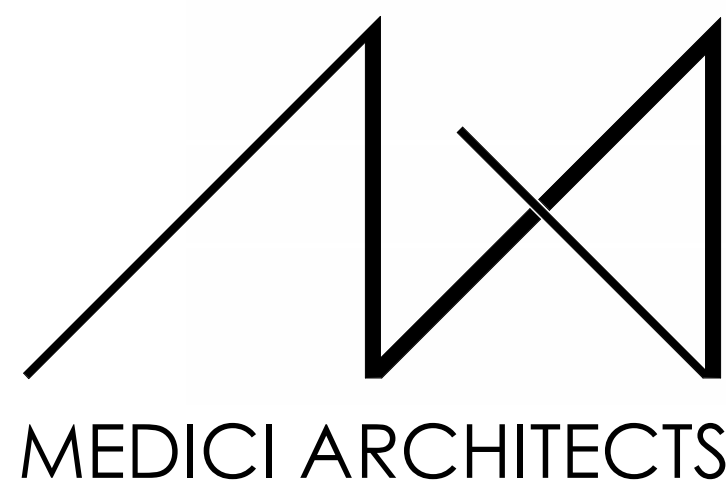
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VICINITY MAP
NTS



QUARTER SECTION MAP
12" = 1'-0"



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REGISTRATION:

PRELIMINARY

INTAKE DATE: 2/20/2025

REVISIONS:	DATE:

PROJECT / CLIENT:

2900 78TH AVE SE

2900 Development LLC

JOB ADDRESS:
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ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	PICT	PICTURE
A/C	AIR CONDITIONING	PLAM	PLASTIC LAMINATE
AHU	AIR HANDLING UNIT	PSF	POUNDS PER SQUARE FOOT
ALT	ALTERNATE	PSI	POUNDS PER SQUARE INCH
ALUM	ALUMINUM	PL	PROPERTY LINE
ANOD	ANODIZED	PNA	PROTECTED NATURAL AREA
BMT	BASEMENT	QTY	QUANTITY
BLK	BLOCK	REF	REFRIGERATOR
BS	BOTH SIDES	REQD	REQUIRED
BLDG	BUILDING	REV	REVISION
CAB	CABINET	R	RISER
CB	CATCH BASIN	RM	ROOM
CLG	CEILING	RO	ROUGH OPENING
CLR	CLEAR	SG	SAFETY GLASS
CL	CLOSED	SIM	SIMILAR
CONC	CONCRETE	SH	SINGLE HUNG
CMU	CONCRETE MASONRY UNIT	SOG	SLAB ON GRADE
CONT	CONTINUOUS	SPEC	SPECIFICATION
CJ	CONTROL JOINT	SF	SQUARE FOOT
CPT	CARPET	SS	STAINLESS STEEL
CSMT	CASEMENT	STD	STANDARD
CF	CUBIC FOOT	STL	STEEL
DIA	DIAMETER	STOR	STORAGE
DBH	DIAMETER BREAST HEIGHT	SD	STORM DRAIN
DIM	DIMENSION	SUP	SUPPLEMENTAL
DW	DISHWASHER	TV	TELEVISION
DH	DOUBLE HUNG	TEMP	TEMPORARY
DN	DOWN	TP	TOILET PAPER DISPENSER
DS	DOWNSPOUT	T&G	TONGUE & GROOVE
D	DRYER	TO	TOP OF
EA	EACH	TOW	TOP OF WALL
ELEC	ELECTRICAL	TB	TOWEL BAR
EP	ELECTRICAL PANEL	T	TREAD
ELEV	ELEVATOR	TPZ	TREE PROTECTION ZONE
EQ	EQUAL	TYP	TYPICAL
EXT	EXTERIOR	UNO	UNLESS NOTED OTHERWISE
EXIST	EXISTING	VB	VAPOR BARRIER
FFE	FINISH FLOOR ELEVATION	VTOS	VENT TO OUTSIDE
FRD	FIRE RATE DOOR	VF	VERIFY IN FIELD
FRW	FIRE RATE WINDOW	VERT	VERTICAL
FXD	FIXED	VG	VERTICAL GRAIN
FKT	FIXTURE	WC	WATER CLOSET
FAR	FLOOR AREA RATIO	WH	WATER HEATER
FTG	FOOTING	WRB	WATER RESISTANT BARRIER
FAU	FORCED AIR UNIT	W	WASHER
FDN	FOUNDATION	WHF	WHOLE HOUSE FAN
FURN	FURNACE	WIN	WINDOW
GFA	GROSS FLOOR AREA	W	WITH
HDWD	HARDWOOD	W/O	WITHOUT
HDR	HEADER	WP	WATER PROOFING
HVAC	HEATING, VENTILATION & A/C	YO	YARD
HT	HEIGHT		
HORZ	HORIZONTAL		
HR	HOUR		
INCL	INCLUDE (ED/ING)		
INT	INTERIOR		
LED	LIGHT EMITTING DIODE		
LOD	LIMIT OF DISTURBANCE		
LF	LINEAR FEET		
MANUF	MANUFACTURER		
MAX	MAXIMUM		
MECH	MECHANICAL		
MED	MEDIUM		
MIN	MINIMUM		
MISC	MISCELLANEOUS		
NIC	NOT IN CONTRACT		
NTS	NOT TO SCALE		
NO	NUMBER		
OC	ON CENTER		
PERF	PERFORATED		

SYMBOL LEGEND

①	GRID LINES	—	EXISTING WALL
⊗	PROJECT BASE POINT	- - - -	EXISTING WALL TO DEMO
⊕	REFERENCE ELEVATION POINT	▬	2X WALLS
⊕	PROPERTY CORNER	▬	FOUNDATION WALL
⊕	PROPERTY LINE	▬	CONCRETE SURFACE
⊕	CENTER LINE	▬	CAST IN PLACE CONCRETE
T.O.W. 119.12'	TOP OF WALL ELEVATION	⊗	STRUCTURAL POST - SIZE AND TYPE PER STRUCTURAL PLAN
N 90° 00' 00" E	PROPERTY LINE TAG	⊗	GAS OUTLET
Distance	SECTIONS FOUND ON SHEET A101	⊗	GAS METER
①	DETAIL SECTION FOUND ON SHEET A101	⊗	HOSE BIB
①	INTERIOR ELEVATION FOUND ON SHEET A1.0	⊗	DOWNSPOUT
①	EXIT DIRECTION	⊗	ELECTRICAL METER
⊗	SMOKE DETECTOR	⊗	ELECTRICAL PANEL
⊗	SMOKE & CARBON MONOXIDE DETECTOR	⊗	UNDISTURBED EARTH
①	DOOR TAG NUMBER	⊗	COMPACTED FILL
10'-0"x12'-0"	DOOR SIZE	⊗	GRAVEL
⊗	WINDOWS TAG NUMBER	⊗	RIGID OR SPRAY INSULATION
⊗	DRAWING REVISION	⊗	BIBS BLOWN-IN INSULATION
⊗	WALL TAG ASSEMBLY	⊗	STONE
⊗	WHOLE HOUSE FAN CONTROL	⊗	BATT INSULATION
⊗		⊗	EXHAUST FAN
⊗		⊗	VENT TO OUTSIDE
⊗		⊗	WATER METER
⊗		⊗	STEP DOWN / ELEVATION CHANGE
⊗		⊗	KEY NOTES

APPLICABLE CODES

ALL MATERIALS, WORKMANSHIP, DESIGN AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE FOLLOWING APPLICABLE CODES USED IN THIS DESIGN FOR CITY OF MERCER ISLAND

2022 MERCER ISLAND CITY CODE (MICC) NOV 28, 2022
2021 INTERNATIONAL BUILDING CODE (IBC)
WITH WASHINGTON STATE AMENDMENTS CITY AMENDMENTS
2021 INTERNATIONAL MECHANICAL CODE (IMC)
2021 INTERNATIONAL FUEL GAS CODE (IFGC)
2021 UNIFORM PLUMBING CODE (UPC)
2021 INTERNATIONAL FIRE CODE (IFC)
WASHINGTON STATE ENERGY CODE (WSEC)
WASHINGTON CITIES ELECTRICAL CODE (WCEC)
ICC/ANSI A117.1-17, ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES, WITH STATEWIDE AND CITY AMENDMENTS

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LANDSCAPE	
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A2.3	FLOOR PLAN - LEVEL 4
A2.4	ROOF PLAN
A4.0	ELEVATION - SOUTH
A4.1	ELEVATION - NORTH
A4.2	ELEVATION - WEST
A4.3	ELEVATION - EAST
A4.4	PERSPECTIVES

DRAWING NAME:

TITLE SHEET

Drawn By: MF, JG
Checked By: EB, NR
Owner Approval:

PHASE:

BUILDING STUDY SESSION PLAN SET

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APPROVED FOR CONSTRUCTION:

PROJECT No.: A24 108

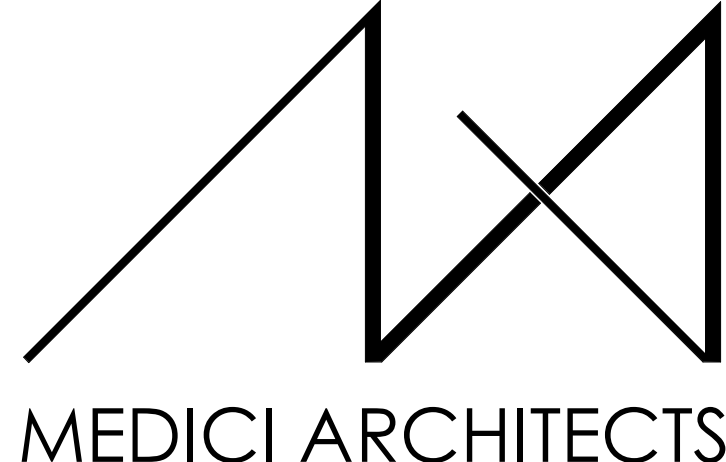
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MERCER ISLAND ZONING ANALYSIS & DESIGN STANDARDS

<p>TAX PARCEL PROPERTY SIZE (TOTAL) JURISDICTION</p> <p>CHAPTER 19.11</p> <p>19.11.015 - TOWN CENTER SUBAREAS B.2 - SUBAREAS ESTABLISHED</p> <p>19.11.020 - LAND USES A.1 - PERMITTED AND CONDITIONAL USES B - REQUIRED GROUND FLOOR USES C - REDUCING CONTINUOUS RETAIL FRONTAGES D - ACCESSORY USES D.4 BICYCLE FACILITIES E - OBJECTIONABLE OR HAZARDOUS USES</p> <p>19.11.030 - BULK REGULATIONS A.1 - BULK REGULATIONS BY SUBAREA</p> <p>A.2 - BASE BUILDING HEIGHT</p> <p>A.3 - CALCULATION OF BUILDING HEIGHT</p> <p>A.4 - MEZZANINES</p> <p>A.5 - ROOFTOP APPURTENANCES</p> <p>A.6 - SETBACKS</p> <p>A.7 - AVERAGE DAYLIGHT PLANE</p> <p>19.11.040 - AFFORDABLE HOUSING B - AFFORDABLE HOUSING RATIO</p> <p>19.11.050 - GREEN BUILDING STANDARDS</p> <p>19.11.060 - SITE DESIGN A - MINOR SITE FEATURES</p> <p>B - MAJOR SITE FEATURES</p> <p>D - PUBLIC OPEN SPACE</p> <p>D.1 - SIZE</p> <p>D.2 - DESIGN ELEMENTS</p> <p>D.3 - PUBLIC OPEN SPACE PLAN</p> <p>D.4 - PUBLIC ACCESS</p> <p>E - THROUGH-BLOCK PEDESTRIAN CONNECTIONS</p> <p>19.11.070 - GREENERY AND OUTDOOR SPACES B.1 - LANDSCAPED AREA REQUIREMENT</p> <p>B.2 - LANDSCAPING STANDARDS</p> <p>B.3 - SURFACE PARKING LOT LANDSCAPING</p> <p>B.4 - LANDSCAPE SCREENING</p> <p>B.5 - BUILDING ENTRIES</p>	<p>PIN 531510-1219 PARCEL SIZE 7,200 SF (17 ACRES) MERCER ISLAND</p> <p>TC-4 4-STORIES / 51 FEET PROPOSED: 4 STORIES / 47'-6" FEET - COMPLIES</p> <p>PERMITTED USE - RESIDENTIAL PROPOSED RESIDENTIAL - COMPLIES</p> <p>NO GROUND FLOOR USES REQUIRED NONE PROPOSED</p> <p>NO RETAIL IS REQUIRED FOR THIS SITE</p> <p>N/A</p> <p>A PUBLIC BIKE RACK IS PROVIDED.</p> <p>THIS RESIDENTIAL PROJECT WILL NOT PRODUCE ANY EXCESSIVE ODORS OR HAZARDOUS USES.</p> <p>MAX ALLOWABLE BUILDING HEIGHT: 51 FEET PROPOSED: 47'-6" FEET APPURTENANCES: ELEVATOR PENTHOUSE < 10' - COMPLIES</p> <p>MAX ALLOWABLE BUILDING STORIES: 4 PROPOSED: 4 STORIES</p> <p>GROUND FLOOR ADJACENT TO STREETS: 15 FEET PROPOSED: 15 FOOT GROUND FLOOR LEVEL ALONG 78TH AVE SE</p> <p>SETBACK FROM PROPERTY LINES: NO MINIMUM PROPOSED: NORTH - 0' PROPOSED: EAST - 0' PROPOSED: SOUTH - 15' REQUIRED INGRESS/EGRESS EASEMENT PROPOSED: WEST - 15' FROM FACE OF CURB</p> <p>REQUIRED UPPER STORY SETBACK: MEETS AVERAGE DAYLIGHT PLANE STANDARDS AS DESCRIBED IN SUBSECTION (A)7</p> <p>PROPOSED PROJECT WILL UTILIZE THE MAXIMUM ALLOWED HEIGHT OF 51 FEET AND THE MAXIMUM ALLOWED STORIES OF 4 BY PROVIDING 10% AFFORDABLE HOUSING PER MICC 19.11.040(B), AND INCORPORATE A PUBLIC OPEN SPACE PER MICC 19.11.040(D). (1) AFFORDABLE HOUSING UNIT PROVIDED 645 SF PUBLIC OPEN SPACE PROVIDED</p> <p>THE BASE OF THE BUILDING FACADE IS AT THE SAME LEVEL AS THE PUBLIC SIDEWALK ALONG 78TH AVE SE. COMPLIES</p> <p>N/A</p> <p>THE ELEVATOR HOISTWAY OVERRUN IS THE HIGHEST PORTION OF THE BUILDING, BUT IT DOESN'T EXCEED THE ALLOWED 10' ALLOWABLE APPURTENANCES. WHILE THIS ELEMENT IS TALLER THAN THE PARAPETS, IT IS INTEGRATED INTO THE DESIGN OF THE BUILDING. COMPLIES</p> <p>A. PROPOSED STRUCTURE IS SET BACK A MINIMUM OF 15' FROM 78TH AVE SE. COMPLIES</p> <p>A. THE AVERAGE SETBACK IS USED TO REDUCE THE VISUAL SCALE OF THE BUILDING MASS ALONG 78TH AVE SE. PROMOTE MODULATION AND FACADE ARTICULATION AS WELL AS CARVE OUT THE SPACE ALONG THE RIGHT-OF-WAY FOR PUBLIC OPEN SPACE.</p> <p>B. FROM A HEIGHT OF 25 FEET AT THE PROPERTY LINE ALONG 78TH AVE SE, A 45 DEGREE ANGLE WAS APPLIED UP TO THE MAXIMUM BUILDING HEIGHT WHICH DETERMINED SETBACKS FOR THE UPPER FLOORS. SINCE THIS LINE INDICATES THE MINIMUM AVERAGE, DEBIT AND CREDIT CALCULATIONS PER MICC 19.11.030.7.V WAS USED TO VERIFY THAT A SURPLUS OF "CREDIT" VOLUME WAS BEING PROVIDED. THIS CALCULATION ONLY CONSIDERED THE FIRST 30 FEET OF DEPTH ALONG THIS STREET FRONTAGE. AS PROPOSED, 0.476 CF OF "DEBIT" VOLUME IS BEING USED TO EXTEND THE UPPER TWO FLOORS TO PROVIDE A FLUSH FACADE OVER THE CANTILEVERED PORTION OF THE STRUCTURE. THE NORTHWEST CORNER OF THIS SITE FEATURES PUBLIC OPEN SPACE WHICH PUSHED THE REMAINING FRONTAGE INWARD AND PROVIDED 17,925 CF OF "CREDIT" VOLUME.</p> <p>TO QUALIFY FOR THE ADDITION TWO STORIES THAT IS ALLOWED WITHIN THE TC-4 SUBAREA, THE PROJECT PROPOSES 10% OF THE TOTAL 8 UNITS AS AFFORDABLE. (1) AFFORDABLE UNIT PROPOSED - COMPLIES</p> <p>PROJECT WILL MEET LEED GOLD STANDARD OR BUILT GREEN 4 STAR STANDARD.</p> <p>3 MINOR SITE FEATURES REQUIRED. PROPOSED: 1. SCULPTURAL LIVING WALLS 2. SPECIAL PAVING INTEGRATED INTO THE OVER ALL OPEN SPACE. 3. WATER FEATURE</p> <p>4 STORIES REQUIRES 1 MAJOR SITE FEATURE PUBLIC OPEN SPACE COMPLYING WITH 19.11.040 PROVIDED.</p> <p>INFORMAL GATHERING AREA FOR PUBLIC PROVIDED.</p> <p>PROPOSED PUBLIC OPEN SPACE IS 645 SF > 3% OF GFA AND EXTENDS FROM NORTH PROPERTY LINE SOUTH 20'</p> <p>PROPOSED OPEN SPACE DESIGN ELEMENTS A. LOCATED AT SAME LEVEL AS SIDEWALK AND WILL SERVE AS A FOCAL POINT. B. INCLUDES 12 LINEAR FEET OF SEATING, WATER FEATURE, LANDSCAPE LIGHTING, LANDSCAPING, 2 SCULPTURAL GREEN WALLS, AND DECORATIVE PAVING C. PEDESTRIAN ORIENTED FRONTAGE IS PROVIDED ON THE WEST ROW. D. 25% OF OPEN SPACE SHALL BE LANDSCAPED WITH GROUND COVER AND SHRUBS. E. PUBLIC OPEN SPACE IS OPEN TO SKY F. N/A NO PORTION OF THE OPEN SPACE WILL BE ENCLOSED</p> <p>A 1/4" = 1' SCALED PLAN WILL BE INCLUDED IN THE BUILDING PERMIT SUBMITTAL. THIS PLAN WILL DEPICT ALL ELEMENTS OF THIS SMALL AREA AND ITS RELATION TO THE PROPOSED STRUCTURE AN THE PUBLIC ROW. SEE DRAWING X.XX</p> <p>THE PUBLIC OPEN SPACE WILL BE AVAILABLE TO THE PUBLIC 24X7</p> <p>N/A - THROUGH-BLOCK CONNECTIONS ARE NOT PROPOSED FOR THIS PROJECT.</p> <p>THE LANDSCAPED SURFACES SHALL EQUAL AT LEAST 25% OF THE DEVELOPMENT SITE. THIS SITE IS 7,200 SF SO AT LEAST 1,800 SF (25%) SHALL BE LANDSCAPED. BECAUSE OF THE SMALL SITE, A COMBINATION OF GROUND LEVEL PLANTING, GREEN WALLS, AND A GREEN ROOF WILL BE UTILIZED TO MEET THIS REQUIREMENT.</p> <p>A - GROUND LEVEL PLANTING (COUNTED AT 100%) THE AVAILABLE SPACE IS VERY LIMITED. THE PUBLIC OPEN SPACE AND THE PLANTER STRIP SOUTH OF THE DRIVEWAY COMBINE FOR A TOTAL OF 207 SF OF AVAILABLE SPACE FOR PLANTING OF SHRUBS AND GROUND COVER</p> <p>B - GREEN ROOF (COUNTED AT 50%); THIS WILL BE LARGEST PORTION OF LANDSCAPING ON SITE. THERE WILL BE APPROXIMATELY 2,480 SF OF SEDUM TRAYS ON THE ROOF, WHICH 1,240 SF WILL COUNT TOWARDS THE REQUIREMENT.</p> <p>C - ARTISTIC GREEN WALL (COUNTED AT 125%); A STANDARD GREEN WALL WILL BE INCORPORATED INTO THE PUBLIC OPEN SPACE ALONG THE NORTH PROPERTY LINE THAT WILL COVER UP THE BLANK WALL OF THE ADJACENT PROPERTY. THIS WILL BE APPROXIMATELY 285SF, WHICH AT A RATE OF 125%, 352 SF WILL COUNT TOWARDS THE LANDSCAPE REQUIREMENT.</p> <p>THESE ELEMENTS COMBINE FOR A TOTAL OF 1,800 SF IN LANDSCAPED AREA, OR 25% OF THE SITE.</p> <p>A - ALL NEW PLANTINGS SHALL BE SELECTED FROM A CITY APPROVED LIST. PER THE LANDSCAPE PLANS, ALL NEW PLANTINGS SHALL MEET THE CITY OF MERCER ISLAND'S INSTALLATION STANDARDS AND PLANS.</p> <p>B - NO TREES ARE PROPOSED. ALL GROUND COVER SHALL REACH 100% COVER WITHIN TWO YEARS.</p> <p>C - APPROPRIATE SOIL INFORMATION SHALL BE INCLUDED IN THE LANDSCAPING PLANS FOR THE BUILDING PERMIT SUBMITTAL.</p> <p>D - ALL NEW PLANTING AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM.</p> <p>E - ALL LANDSCAPING WILL BE MAINTAINED THROUGH REGULAR MAINTENANCE.</p> <p>N/A - NO SURFACE PARKING IN PROJECT.</p> <p>WITH EXCEPTION OF THE DRIVEWAY, THE GRADE LEVEL COVERED PARKING IS SCREENED BY THE BUILDING STRUCTURE.</p> <p>AS MUCH AS POSSIBLE ON THIS LIMITED SITE, THE BUILDING ENTRY IS EMPHASIZED BY THE PUBLIC OPEN SPACE WHICH INCLUDES LANDSCAPING, SPECIAL PAVING, AND LIGHTING.</p>	<p>B.6 - BUILDING FACADES</p> <p>B.7 - CONTINUITY</p> <p>19.11.080 - SCREENING B.1 - ON-SITE SERVICE AREAS</p> <p>B.2 - GARBAGE, RECYCLING, COMPOST AREAS</p> <p>B.3 - METERS AND MECHANICAL UNITS.</p> <p>B.4 - FENCING</p> <p>19.11.090 - LIGHTING B - DEVELOPMENT AND DESIGN STANDARDS</p> <p>19.11.100 - BUILDING DESIGN B.1 - FENESTRATION</p> <p>B.2 - STREET-FACING FACADE ELEMENTS</p> <p>B.3 MAJOR FACADE MODULATION</p> <p>B.4 - MINOR FACADE MODULATION</p> <p>B.5 - WALLS</p> <p>B.6 - ENTRANCES</p> <p>B.7 - ROOFS</p> <p>B.12 - HARMONY</p> <p>B.13 - WEATHER PROTECTION</p> <p>B.14 - COURTYARDS</p>	<p>THE BUILDING FACADE MODULATION/STEPBACKS FEATURES THE PROPOSED PUBLIC OPEN SPACE AND THE MINOR SITE ELEMENTS.</p> <p>N/A - THE PROPOSED LANDSCAPING DOES NOT CONTINUE BETWEEN NEIGHBORING PROPERTIES. THE PROPERTY TO THE NORTH HAS A BLANK WALL/STAIRS EXTENDING TO THE ROW AND THE LANDSCAPING STRIP BETWEEN THE BANK PROPERTY TO THE SOUTH IS BROKEN UP BY THE REQUIRED ON-SITE LOADING ZONE WHICH LEAVE NO ROOM FOR ADDITIONAL LANDSCAPING.</p> <p>DUE TO LIMITED SPACE AND LACK OF TURN AROUND SPACE, THE LOADING ZONE IS LOCATED AT THE FRONT OF THE SITE ADJACENT TO THE PUBLIC ROW. TO THE BEST POSSIBLE, UTILITY EQUIPMENT WILL BE SCREENED FROM PUBLIC VIEW BY LANDSCAPING OR BUILDING ELEMENTS.</p> <p>AS REQUIRED PER CODE, THE SOLID WASTE ENCLOSURE WILL BE FULLY ENCLOSED AND WILL HAVE SELF CLOSING DOORS.</p> <p>THE PROPOSED WALLS OF THE ENCLOSURE WILL BE COMPRISED OF THE SAME MATERIALS AS THE MAIN STRUCTURE.</p> <p>ANY BUILDING DOORS WILL BE PROVIDED AS A MAN-DOOR ON THE PARKING GARAGE SIDE AND A DOUBLE DOORS THAT CAN BE OPENED FROM THE LOADING ZONE SIDE.</p> <p>TO THE EXTENT POSSIBLE, METERS WILL BE SCREENED FROM PUBLIC VIEW AND MECHANICAL EQUIPMENT WILL BE LOCATED ON THE ROOF AND SCREENED FROM PUBLIC VIEW.</p> <p>NO FENCING IS PROPOSED FOR THE PROJECT.</p> <ol style="list-style-type: none"> PEDESTRIAN SCALE FIXTURES WILL BE LOCATED WITHIN THE PUBLIC OPEN SPACE LED LIGHTING WILL BE PROVIDED AT ALL BUILDING ENTRANCES, WITHIN THE PARKING GARAGE, AS LANDSCAPE LIGHTING, AND AT ALL PRIVATE DECK SPACES. AS REQUIRED PER CODE, ANY BUILDING ENTRANCE WILL BE PROVIDED WITH LIGHTING ANY BUILDING MOUNTED LIGHTING WILL BE USED TO LIGHT THE PUBLIC OPEN SPACE AND THE CLOCK LOCATED ABOVE THE OPEN SPACE. THE OPEN PARKING GARAGE WILL BE PROVIDED WITH LIGHTING PER THE ELECTRICAL PLANS THAT WILL BE SUBMITTED DURING THE BUILDING PERMIT PROCESS. N/A - NEON LIGHTING IS NOT PROPOSED FOR THIS PROJECT. TO THE EXTENT POSSIBLE, LIGHTING PROJECTION SHALL BE CONTAINED WITHIN THE SITE BOUNDARIES. <p>A - THE LIMITED FACADE ALONG THE ROW IS COMPRISED MAINLY TRANSPARENT ASIDE FROM THE BUILDING'S STRUCTURAL ELEMENTS. NO BLINDS OR SCREENS SHALL BE USED FOR THE BUILDING LOBBY.</p> <p>B - IN THE TC-4 ALONG 78TH AVE SE, IT IS REQUIRED THAT AT LEAST 75% OF THE LENGTH OF THE GROUND FLOOR FACADE BETWEEN THE HEIGHT OF 2 FEET AND 7 FEET SHALL BE COMPRISED OF WINDOWS AND DOORS WITH VIEWS OF RETAIL, OFFICE, OR LOBBY SPACES.</p> <p>DUE TO THE 60' WIDTH OF THE STREET FRONTAGE, EASEMENT, AND PARKING ACCESS REQUIREMENTS THAT HAVE TO FIT WITHIN THIS AREA, FENESTRATION IN THIS AREA IS VERY LIMITED. 54% WEST FACADE FENESTRATION IS PROVIDED.</p> <p>C - ALL FENESTRATION AT THE UPPER FLOORS ARE PART OF THE INDIVIDUAL DWELLING UNITS AND VISUALLY CONNECT WITH THE STREET LEVEL BELOW.</p> <p>PER 19.11.100 B.2, NEW CONSTRUCTION REQUIRES AT LEAST (7) FACADE ELEMENTS AS DESCRIBED IN THIS SECTION OR AS APPROVED BY THE DESIGN COMMISSION. THIS PROJECT IS PROPOSING:</p> <ol style="list-style-type: none"> A COMBINATION OF EQUITONE INTEGRATED COLOR PANELS AND NICHIHA NON-COMBUSTIBLE WOOD SIDING, WRAP THE MASSING ABOVE THE PUBLIC OPEN SPACE. CLERESTORY WINDOWS ARE PROVIDED ABOVE THE STOREFRONT OF THE LOBBY. RECESSED BALCONIES FOR THE INDIVIDUAL, RESIDENTIAL, UNITS. ACCENT MATERIAL TO HIGHLIGHT THE RECESSED BALCONIES. PERFORATED METAL PANELS WRAP THE STREET FACING RESIDENTIAL BALCONIES. SLANTED STRUCTURAL COLUMNS THAT SUPPORT THE CANTILEVERED UPPER FLOORS. POWDER COATED STEEL SHEETS THAT CREATE THE PERIMETER OF THE RAISED GRAVEL BED ALONG THE NORTH PROPERTY LINE TURN DOWNWARD AT THE FRONT CORNER OF THE FACADE AND WILL BLEND SEAMLESSLY WITH COLOR COORDINATED EXIT PASSAGEWAY DOOR SO IT WON'T DETRACT FROM THE OVERALL DESIGN. <p>BLOCK FRONTAGES SHALL INCLUDE AT LEAST ONE OF THE FEATURES IN SUBSECTION (A), (B), OR (C)</p> <p>A - THE STREET-FACING FACADE IS MODULATED INTO TWO MAJOR VERTICAL MASSINGS. THE CANTILEVERED MASSING THAT STACKS ON ALL UPPER FLOORS IS 26 FEET WIDE. THE SECOND MAJOR MASSING IS RECESSED 30 FEET FROM THE ROW AND IS 19 FEET WIDE.</p> <p>B - THE MASSINGS FEATURE A MIXTURE OF MATERIALS THAT HIGHLIGHT THIS FORM AS DISTINCT MASSING THAT SITS ON TOP OF THE LOBBY STRUCTURE. THIS RECESSED MASSING FEATURES A PARAPET ROOFLINE WHERE THE CANTILEVERED MASSING SHOWS A FLAT ROOF WITH OVERHANGS.</p> <p>C - THERE IS A VARIATION IN MATERIAL, ARTICULATION AND ROOF LINE MODULATION, AND THE CANTILEVER MASSING COMPARED TO THE GROUND, RECESSED MASSING, THE BUILDING COULD READ AS TWO DISTINCT BUT CONNECTED BUILDINGS.</p> <p>AT LEAST (3) MINOR FACADE MODULATIONS SHALL BE INCORPORATED IN THE DESIGN OF THE BUILDING. SOME OF THESE MINOR MODULATIONS INCLUDE:</p> <ol style="list-style-type: none"> RECESSED BALCONIES FOR EACH RESIDENTIAL UNIT BUMPOUTS ARE HIGHLIGHTED BY A CHANGE IN MATERIAL FENESTRATION PATTERNS BREAK UP THE OPAQUE MASSINGS. <p>TO HELP BREAK UP THE BLANK WALL NEAR THE NORTH PROPERTY LINE WHILE STAYING WITHIN THE MAXIMUM ALLOWED OPENING PENETRATION ALLOWED IN THIS FIRE BARRIER, WINDOWS TO THE EXTENT POSSIBLE HAVE BEEN INCLUDED IN THE DWELLING UNITS. WHERE IT'S NOT FEASIBLE FOR FENESTRATION, A CHANGE IN VERTICAL PANELS ARE USED TO BREAK UP THE MAIN FACADE AND ADD VISUAL INTEREST.</p> <p>THE LOBBY ENTRANCE FACES THE ROW AND HAS DIRECT CONNECTION TO IT. THE ENTRANCE IS RECESSED FROM THE CANTILEVERED MASSING AND IS FRAMED BY A CHANGE A FACADE MATERIAL AND STRUCTURAL CONCRETE ELEMENTS.</p> <p>THE DIFFERENCE IN ROOF LINES CORRELATE WITH AND HELP EMPHASIZE THE DIFFERENT MASSINGS. THE PARAPET AND ELEVATOR SHAFT HELP TO CREATE VARIED ROOF LINE HEIGHTS.</p> <p>THE BUILDING ELEMENTS WERE CHOSEN OR DESIGNED TO WORK TOGETHER TO CREATE A COHESIVE DESIGN.</p> <p>AN AWNING IS PROPOSED ABOVE THE BUILDING ENTRY AND EXIT PASSAGEWAY DOOR.</p> <p>A COURTYARD IS PROVIDED FOR THE PURPOSES OF MEETING THE PUBLIC OPEN SPACE REQUIREMENTS PER MICC 19.11.060(D)</p>	<p>19.11.110 - MATERIALS AND COLOR B.1 - BUILDING EXTERIORS</p> <p>B.2 - REGIONAL FOCUS</p> <p>B.3 - ATTENTION TO ALL SIDES</p> <p>B.4 - CONCRETE WALLS</p> <p>B.5 - HARMONIOUS RANGE OF COLORS</p> <p>B.6 - BRIGHT COLORS</p> <p>B.7 - UNDESIRABLE MATERIALS</p> <p>B.8 - VARIATION OF MATERIALS</p> <p>19.11.120 - STREET STANDARDS</p> <p>19.11.130 - PARKING, VEHICULAR AND PEDESTRIAN CIRCULATION B.1.A - PARKING REQUIREMENTS</p> <p>B.1.B - DETERMINATION WITHIN RANGE</p> <p>B.1.D - PARKING LOT CONFIGURATION</p> <p>B.1.E - SHARED PARKING</p> <p>B.1.F - ACCESS RESTRICTION PROHIBITED</p> <p>B.1.G - SURFACE PARKING LOT LOCATION</p> <p>B.1.I - DESIGN OF STRUCTURED PARKING</p> <p>B.2 - SIGNS AND WAYFINDING DEVICES</p> <p>B.3 - LOADING SPACE</p> <p>19.11.140 - SIGNS</p>	<p>THE PROPOSED MATERIALS OF EQUITONE, NICHIHA, CONCRETE, AND POWDER COATED METAL ARE DURABLE AND SHALL REQUIRE MINIMAL MAINTENANCE.</p> <p>SELECTED MATERIALS ARE COMMONLY USED AROUND THE REGION.</p> <p>ALL SIDES OF THE BUILDING WERE TAKEN INTO CONSIDERATION. ON THE PORTION OF THE MASSING THAT IS MORE OBSCURED FROM PUBLIC VIEW ON THE NORTH AND EAST ELEVATIONS, THE MAIN MATERIAL IS EQUITONE AND NICHIHA PANELING. THESE PANELS ARE THEN ACCENTED WITH BLACK INFL PANELS TO HELP BREAK UP THE MASSING OF THE BLANK WALL WHICH HAS LIMITED WINDOW OPENING DUE TO ITS PROXIMITY TO THE PROPERTY LINE.</p> <p>AT THE GROUND FLOOR LEVEL, THE PARKING GARAGE IS CONSTRUCTED OUT OF CONCRETE WHICH IS USED AS AN ARCHITECTURAL ACCENT AT THE GARAGE ENTRANCE AND IS USED TO SEPARATE THE PARKING GARAGE USE FROM THE LOBBY/RESIDENTIAL USE. WHERE VISIBLE FROM THE ROW OR ADJACENT PROPERTY, THE CONCRETE WALLS AT THE LOBBY/PARKING GARAGE LEVEL SHALL BE ARCHITECTURALLY TREATED.</p> <p>THE PROPOSED COLOR PALETTE WAS CHOSEN AS TO NOT DETRACT FROM THE SURROUNDING ELEMENTS. THE SELECTION OF WHITE, BLACK, GRAYS AND A WASHED WOOD LOOK BLEND WELL TO CREATE A HARMONIOUS PROJECT. NO BRIGHT COLORS ARE PROPOSED.</p> <p>BRIGHT COLORS ARE NOT PROPOSED FOR THIS PROJECT.</p> <p>THE USE OF UNDESIRABLE SIDING SUCH AS BEVELED METAL, VINYL, EIFS, ETC IS NOT PROPOSED FOR THIS PROJECT.</p> <p>THE MAIN MATERIALS ARE EQUITONE AND NICHIHA PANELING.</p> <p>SINCE THIS PROJECT IS LOCATED ALONG 78TH AVE SE, IMPROVEMENTS TO THE ROW ADJACENT TO THE PROPERTY ARE REQUIRED PER FIGURE 14 IN SECTION 19.11.120.</p> <p>THESE ROW IMPROVEMENTS SHALL INCLUDE WIDENING THE PUBLIC SIDEWALK TO 15 FEET. THIS MEASUREMENT IS FROM THE FACE OF CURB TO THE BACK OF SIDEWALK. THIS FRONTAGE SHALL ALSO FOLLOW THE MERCER ISLAND TOWN CENTER STREETScape MANUAL AND INCORPORATE DESIGN ELEMENTS SUCH AS CITY APPROVED STREET LIGHTS, STREET SIGN, AND BIKE RACK. EXISTING STREET TREES ARE LOCATED ON BOTH SIDES OF THE PROPERTY, BUT WILL NONE WILL BE ADDED DUE TO THE 60 FOOT WIDTH OF THE PROPERTY AND IT'S REQUIRED ACCESS POINTS.</p> <p>THE MINIMUM NUMBER OF REQUIRED PARKING STALLS FOR RESIDENTIAL USE IS 1 TO 1.4 PER UNIT. ALL PARKING FOR THIS PROJECT WILL BE LOCATED IN AN AT-GRADE, OPEN PARKING GARAGE BELOW THE PROPOSED RESIDENTIAL UNITS. THE CONFIGURATION OF THIS GARAGE ALLOWS FOR A TOTAL OF (10) PARKING STALLS, WHICH INCLUDES (1) VAN ACCESSIBLE STALL.</p> <p>UNDERSTOOD THAT THE CODE OFFICIAL WILL HAVE THE FINAL AUTHORITY TO DETERMINE THE NUMBER OF PARKING STALLS.</p> <p>THE PROPOSED PARKING GARAGE CONFORMS TO THE STANDARDS SET FORTH IN APPENDIX A WHICH INCLUDES STANDARD STALLS HAVING DIMENSIONS OF 9'X18.5', COMPACT STALLS WITH DIMENSIONS OF 8.5'X16', AND A TWO-WAY DRIVE AISLE WITH A WIDTH OF 24'.</p> <p>DUE TO THE COMPACT NATURE OF THE SITE AND SO ALL REQUIRED DIMENSION CAN BE MET. (5) STANDARD STALLS AND (5) COMPACT STALLS WHICH MEETS THE 50% MAXIMUM REQUIREMENT FOR COMPACT STALLS.</p> <p>N/A - SHARED PARKING IS NOT PROPOSED FOR THIS PROJECT.</p> <p>N/A - THERE ARE NOT ADJOINING PARKING LOTS BETWEEN THIS PROJECT AND ANY ADJACENT PROPERTY.</p> <p>N/A - THERE ARE NOT SURFACE LOTS IN THIS PROJECT.</p> <p>THE OPEN PARKING GARAGE IS INTEGRATED INTO THE DESIGN OF THE OVERALL BUILDING AND IS RECESSED FROM THE FRONT FACE OF THE BUILDING TO NOT DETRACT FROM THE DESIGN.</p> <p>THE OPEN PARKING GARAGE FROM 78TH AVE SE, THE BUILDING ENTRY/LOBBY SITS BETWEEN THE NORTH STALLS AND THE PUBLIC ROW AND THE PROPOSED SOLID WASTE ENCLOSURE SHIELDS THE COMPACT STALLS FROM VIEW.</p> <p>ANY SIGNS IDENTIFYING THE LOCATION OF PARKING SHALL BE APPROVED BY THE DESIGN COMMISSION AND CITY ENGINEER.</p> <p>THE REQUIRED OFF-STREET LOADING ZONE IS ACCESSED OFF OF 78TH AVE SE AND HAS A SEPARATE CURB CUT AT THE SOUTH END OF THE PROPERTY. FROM THE BACK OF THE SIDEWALK, THE LOADING ZONE HAS A DEPTH OF 40'-0". A WIDTH OF 13'-0" AND HAS A 15' WIDE CLEAR VERTICAL CLEARANCE. THESE DIMENSIONS HAVE BEEN DISCUSSED WITH THE CITY AND HAVE BEEN APPROVED BY RECOLOGY.</p> <p>NO COMMERCIAL SIGNS PROPOSED. APARTMENT SIGNAGE PER SEPARATE PERMIT.</p>
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MEDICI ARCHITECTS

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200 W. RIVER ST. SUITE 301 KETCHUM, ID 83340 TEL: (208) 726-0194

REGISTRATION:

PRELIMINARY

INTAKE DATE: 2/20/2025

REVISIONS:	DATE:

PROJECT / CLIENT:

2900 78TH AVE SE

2900 Development LLC

JOB ADDRESS:
2900 78TH AVE SE
MERCER ISLAND, 98040

DRAWING NAME:

ZONING CODE SUMMARY

Drawn By: KH
Checked By: ST
Owner Approval:

PHASE:

BULLING STUDY SESSION PLAN SET

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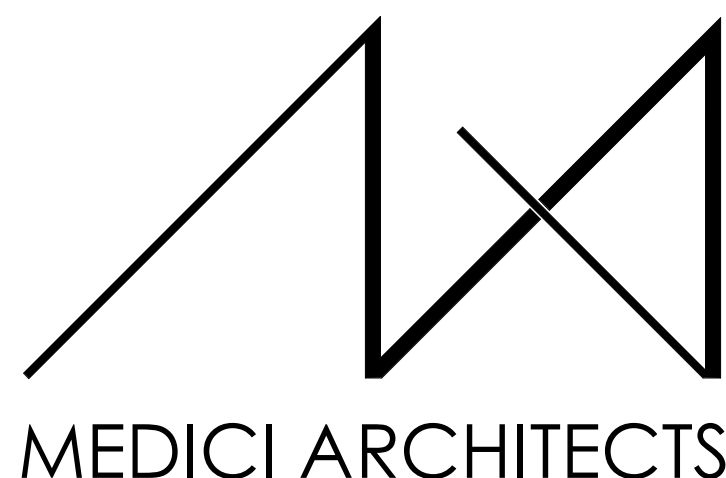
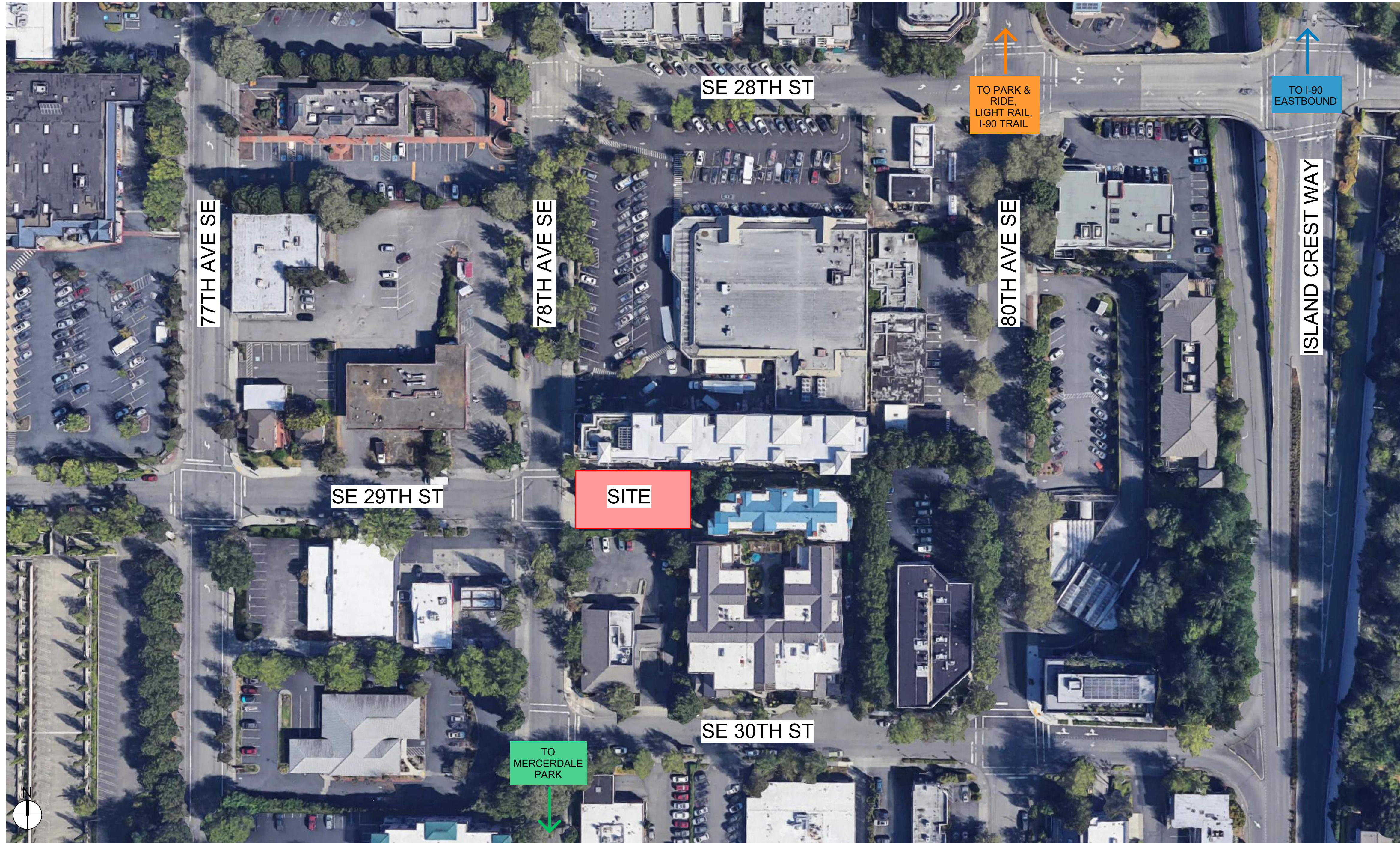
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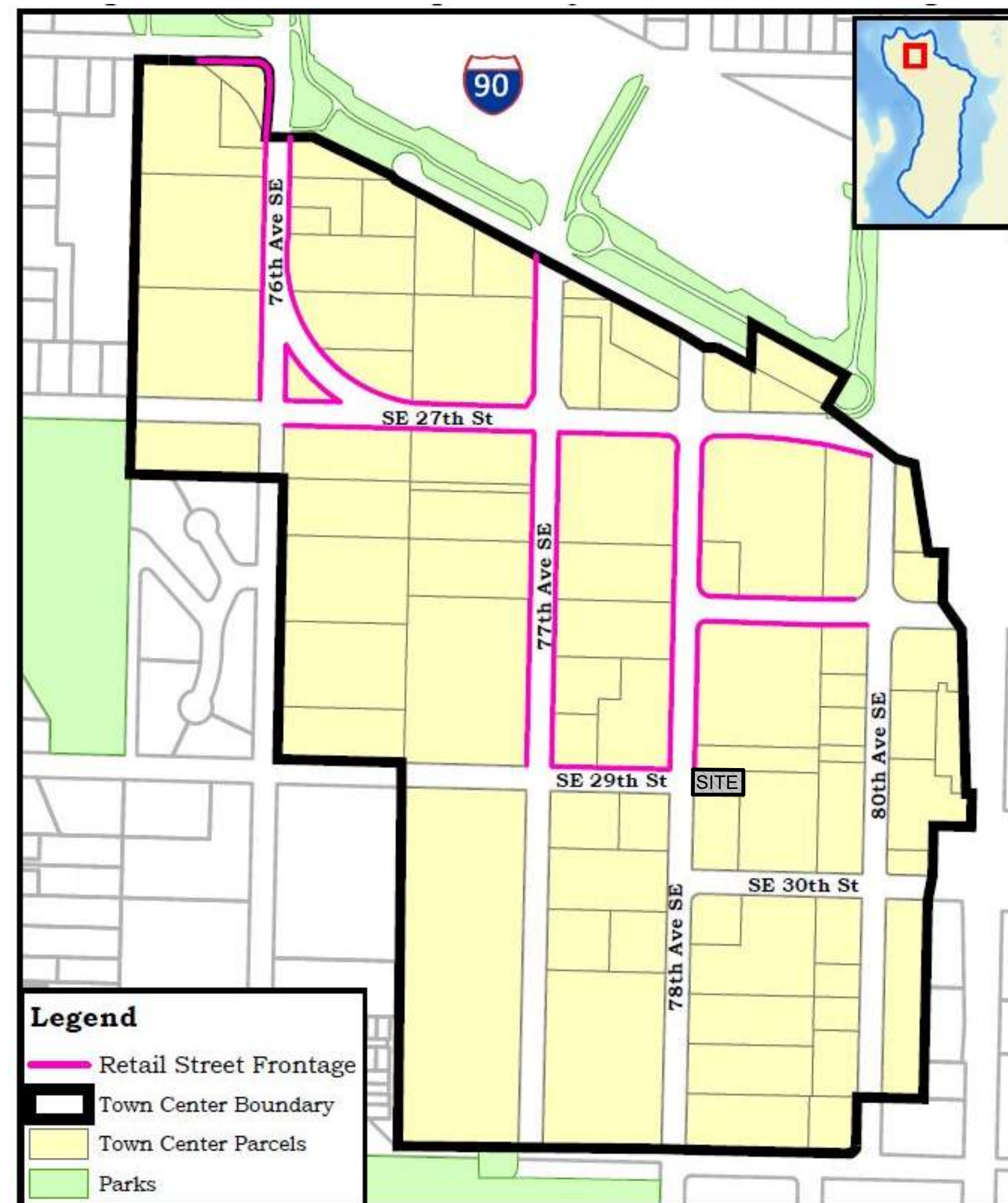
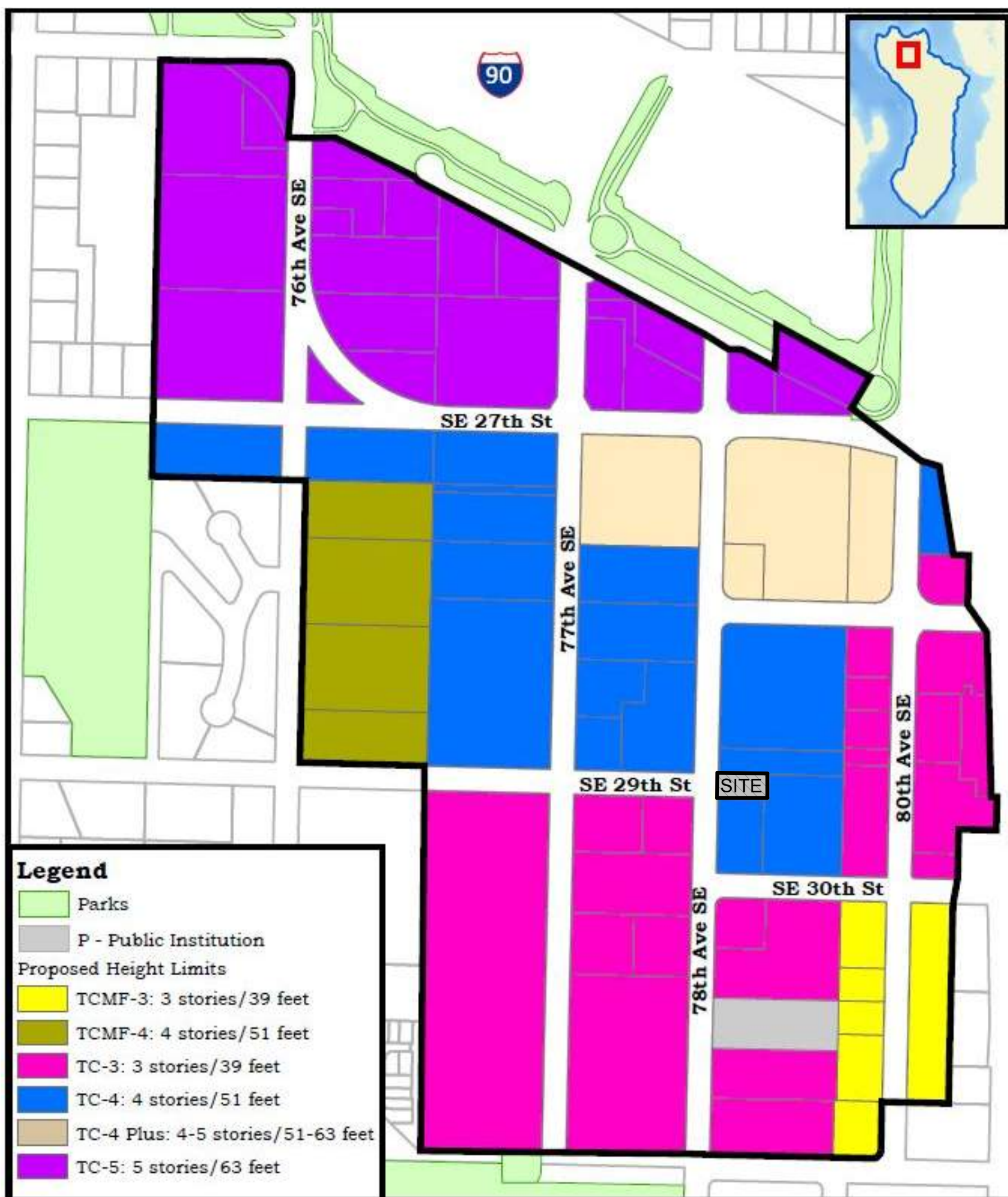
PROJECT / CLIENT:

2900 78TH AVE SE

2900 Development LLC

JOB ADDRESS:

2900 78TH AVE SE
 MERCER ISLAND, 98040



DRAWING NAME:

SITE CONTEXT

Drawn By: Author

Checked By: Checker

Owner Approval:

PHASE:

BUILDING STUDY SESSION PLAN SET

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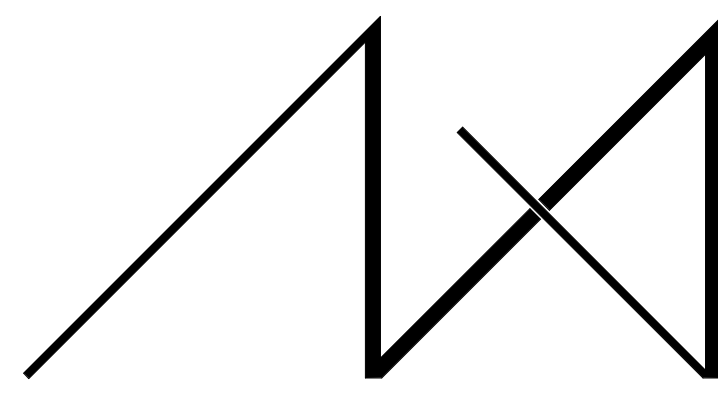
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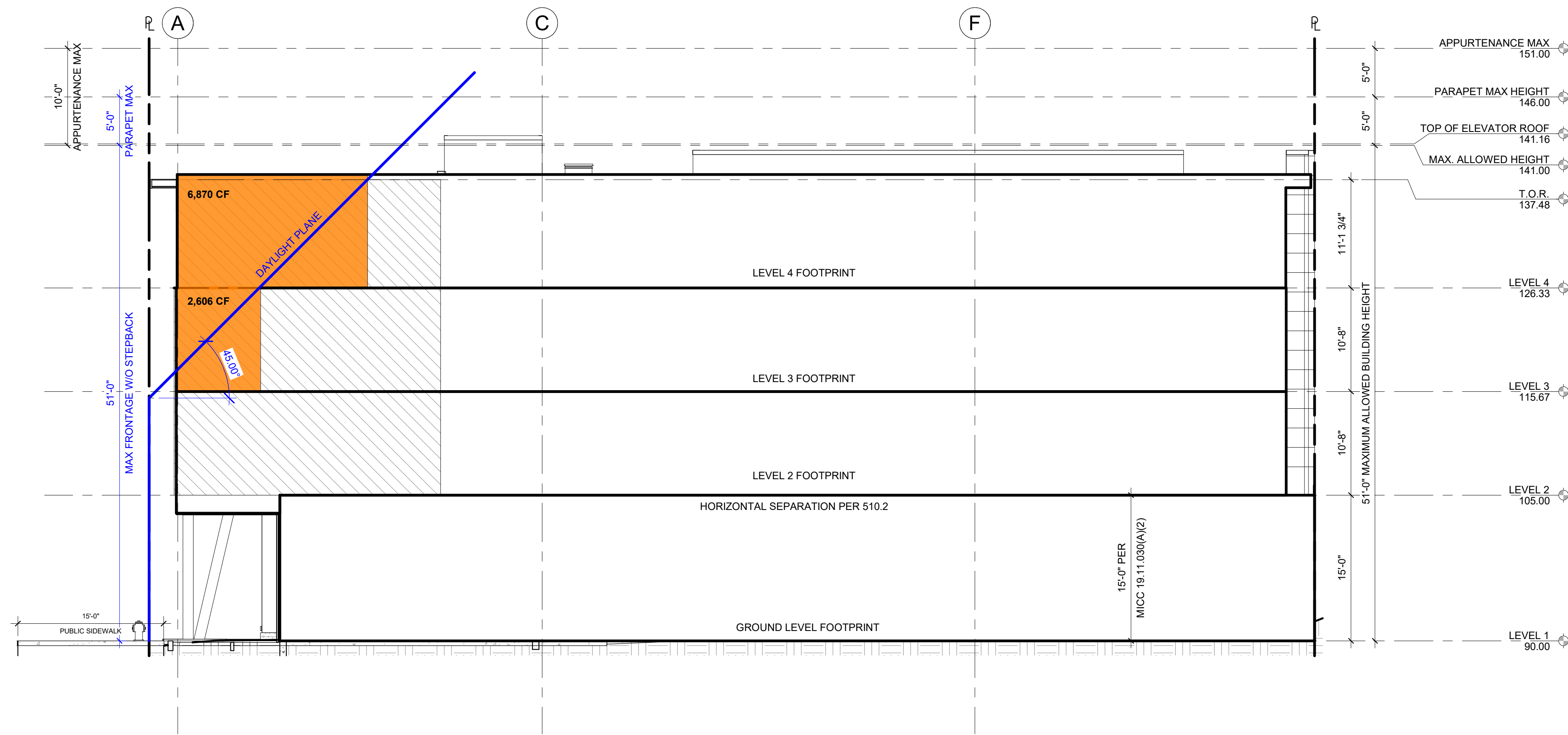
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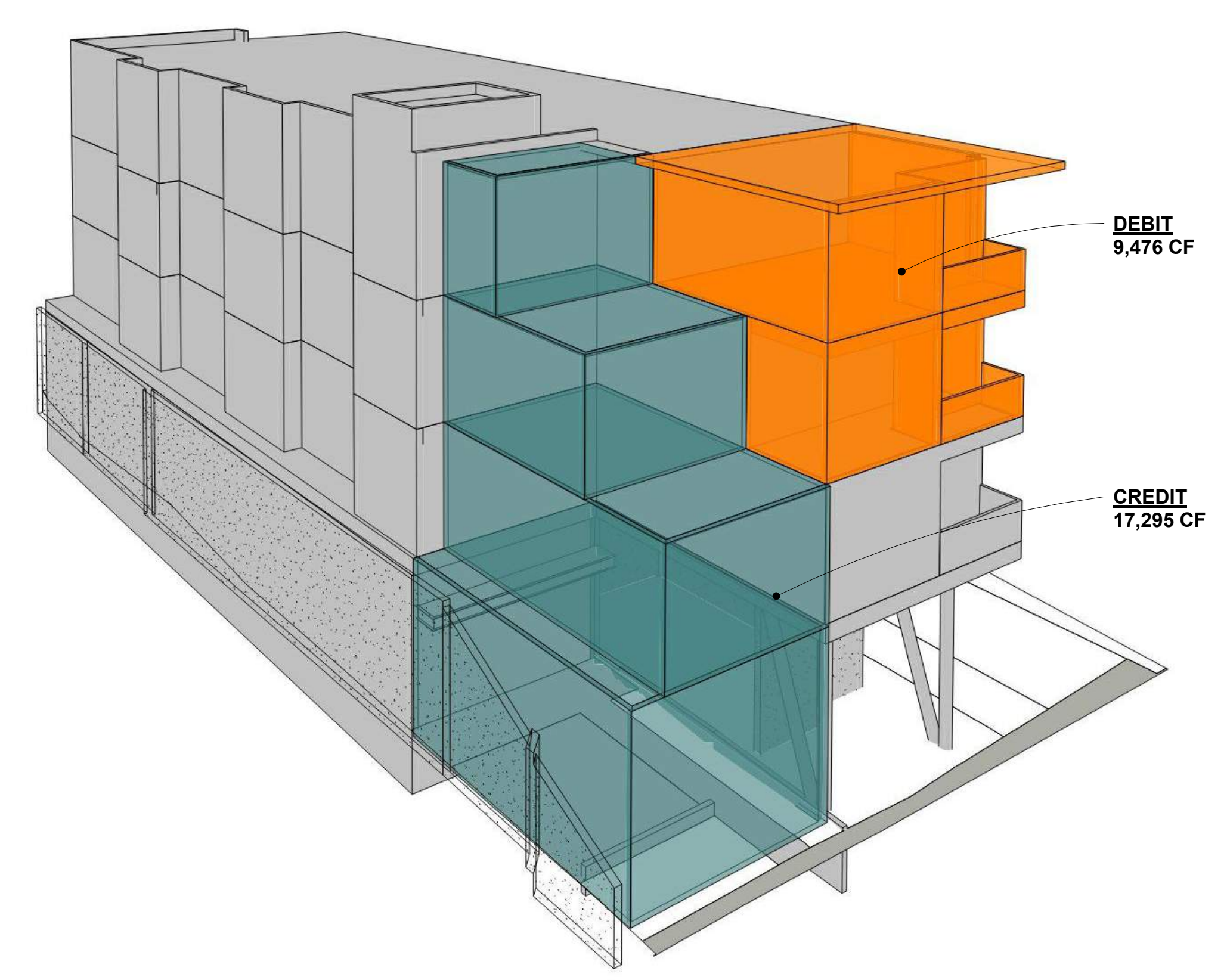
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78TH AVE SE



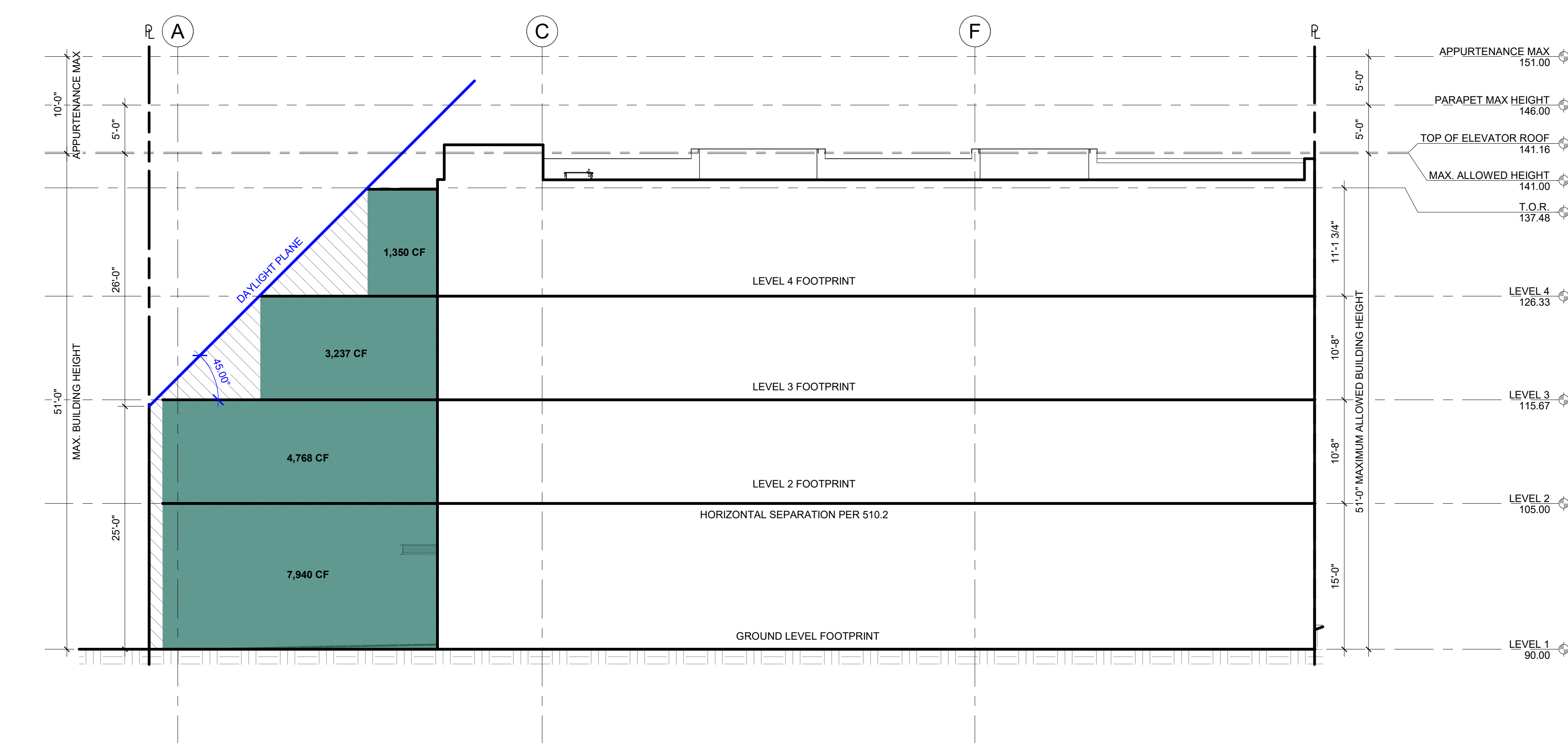
2 DAYLIGHT PLANE - DEBIT VOLUME
1/8" = 1'-0"



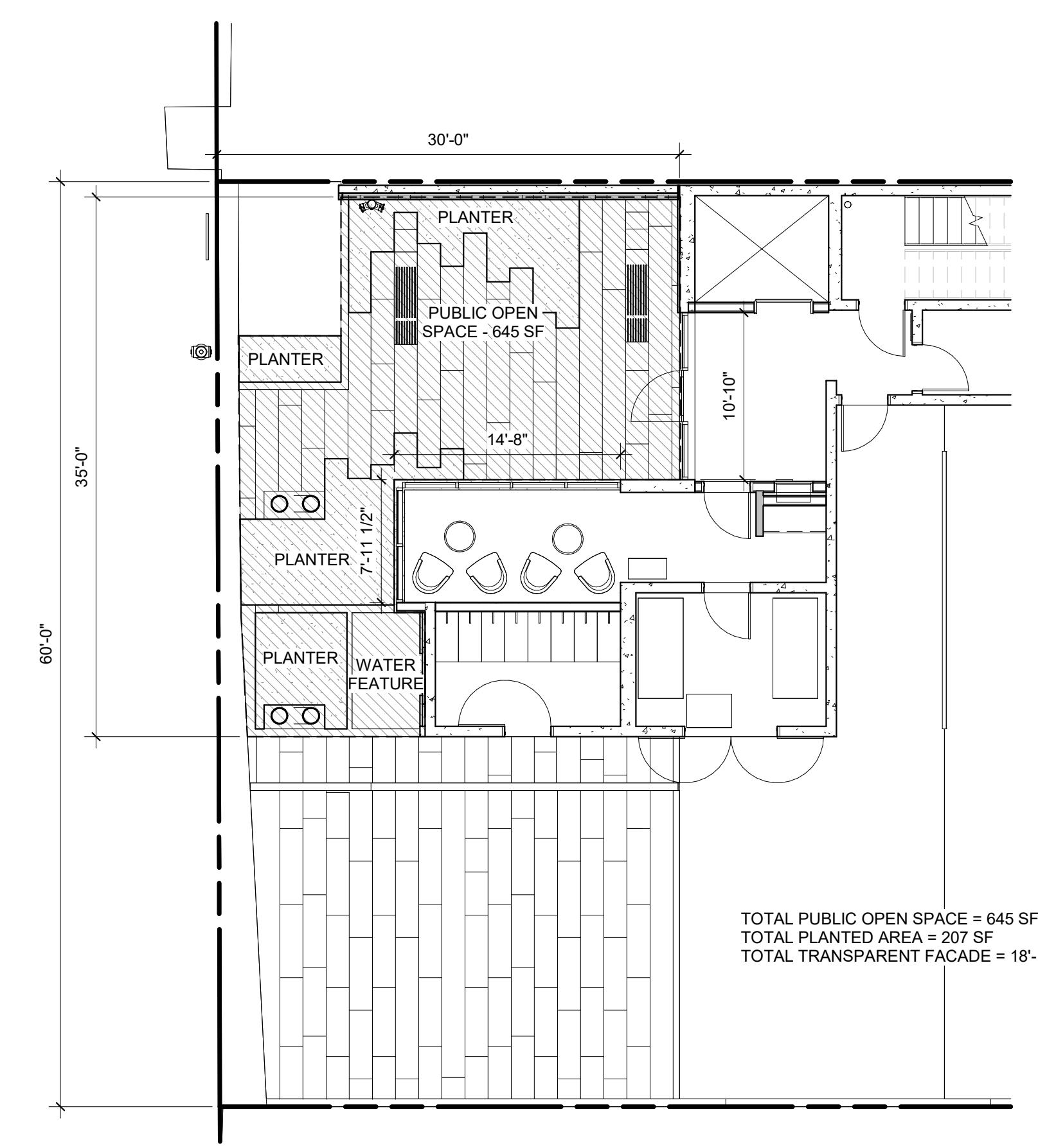
MASSING STUDY
NTS

AVERAGE DAYLIGHT PLANE CALCULATION

DEBIT VOLUME	
2ND FLOOR:	2,606
3RD FLOOR:	6,870
DEBIT TOTAL:	9,476 CF
CREDIT VOLUME	
GARAGE LEVEL:	7,940
1ST FLOOR:	4,768
2ND FLOOR:	3,237
3RD FLOOR:	1,350
CREDIT TOTAL:	17,295 CF
DIFFERENCE	17,295
-	- 9,476
TOTAL CREDIT VOLUME:	7,819 CF



3 DAYLIGHT PLANE - CREDIT VOLUME
1/8" = 1'-0"



PUBLIC OPEN SPACE
1/8" = 1'-0"

DRAWING NAME:

ZONING DIAGRAMS

Drawn By: KH

Checked By: ST

Owner Approval:

PHASE:

BUILDING STUDY SESSION PLAN SET

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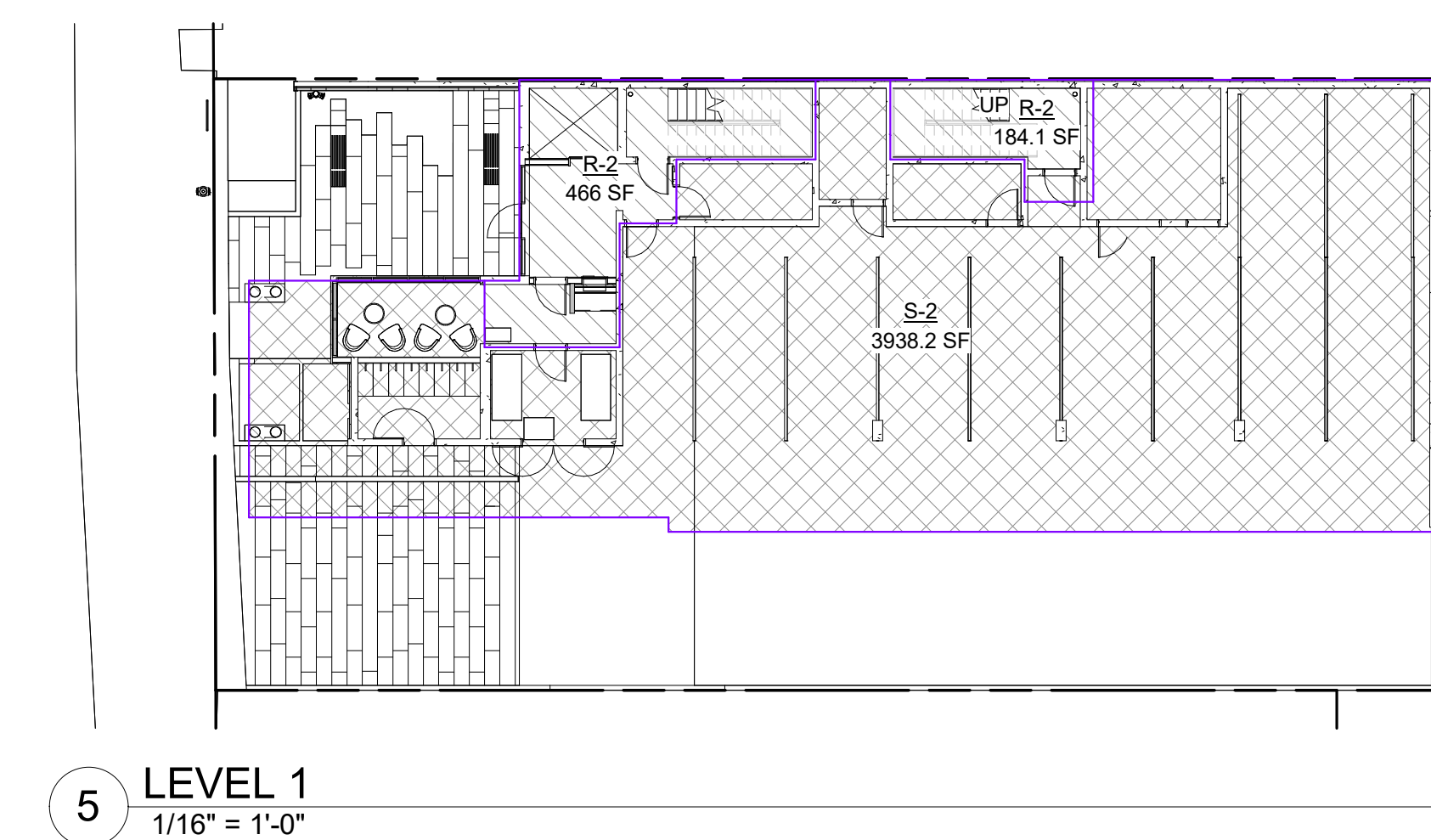
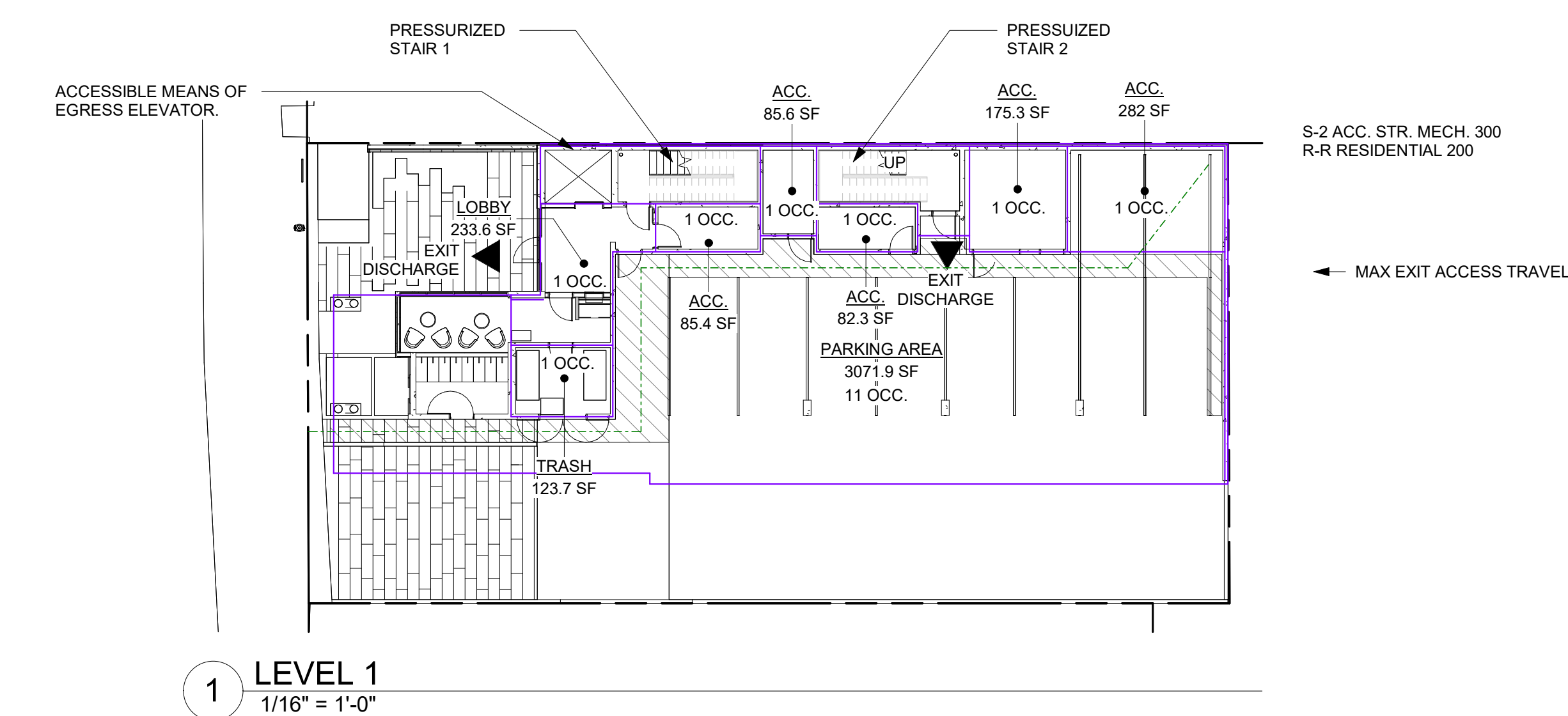
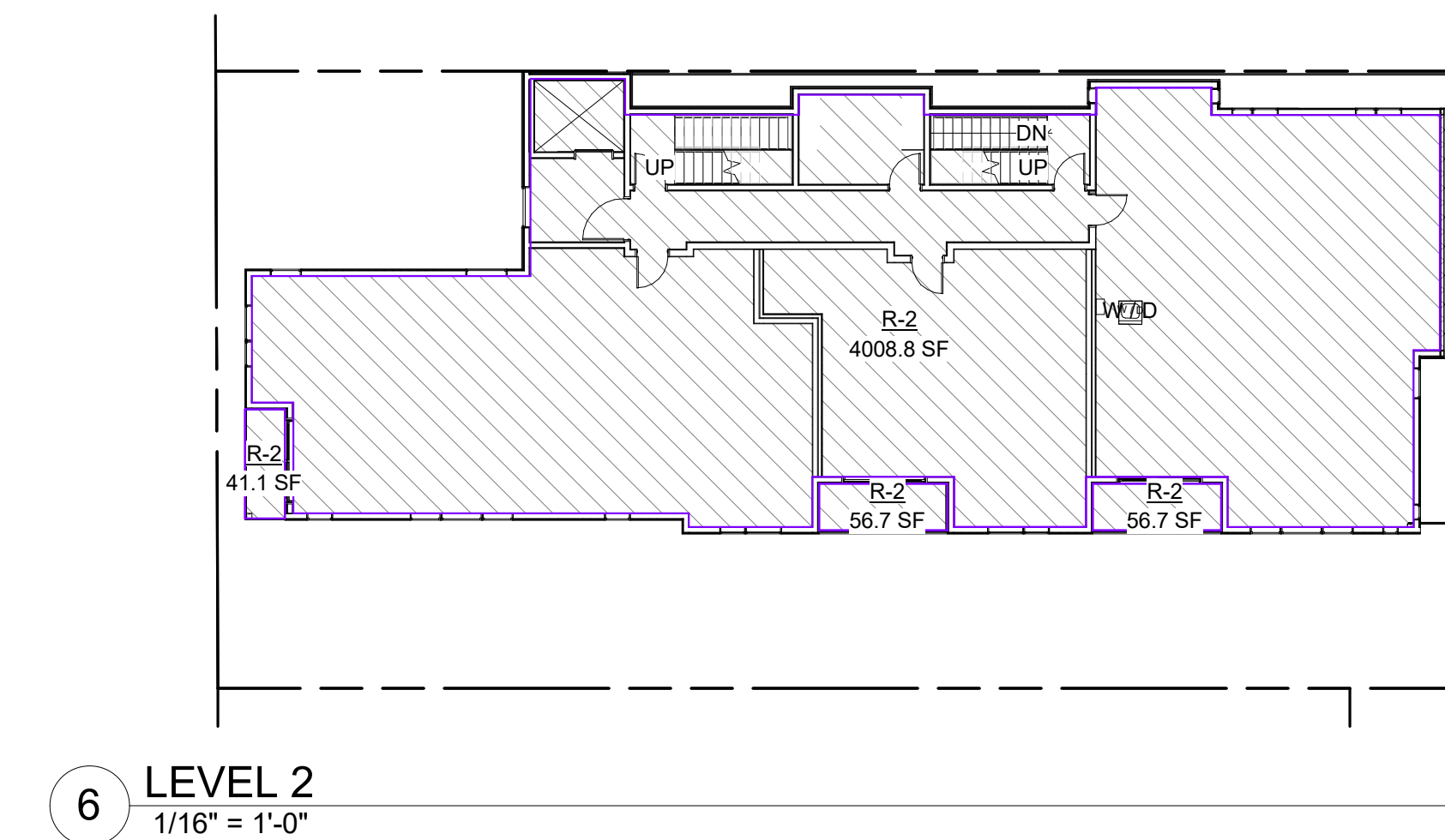
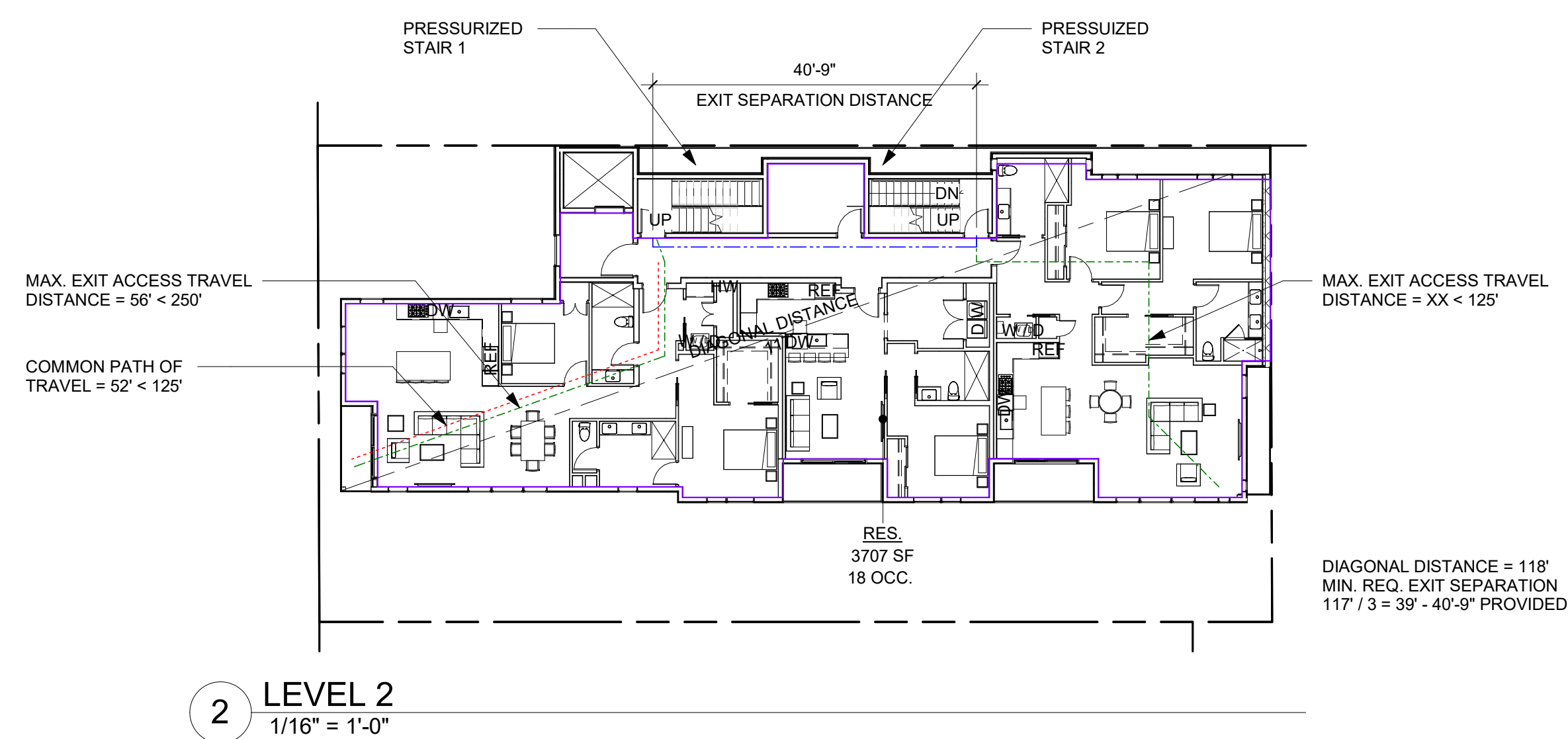
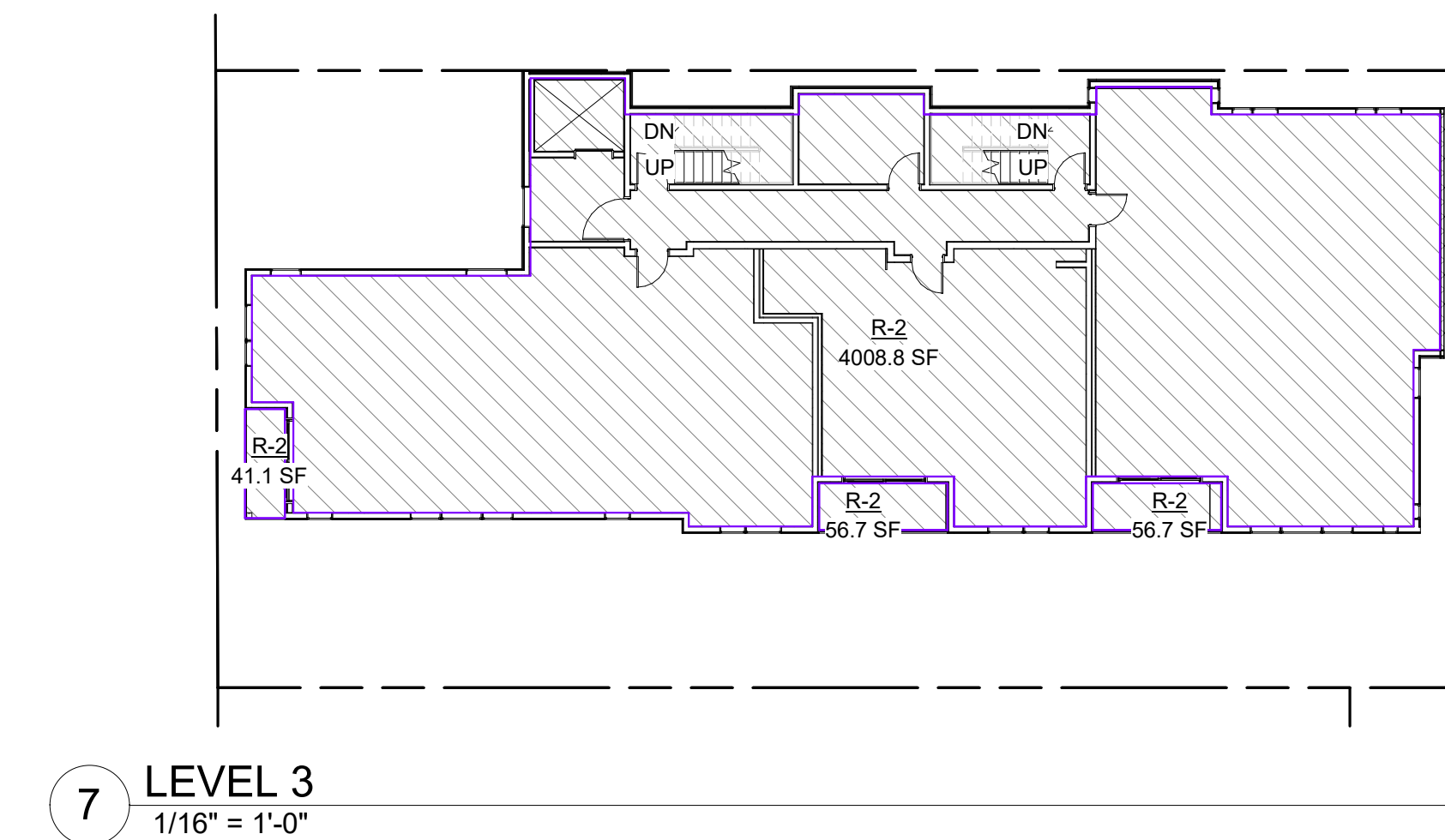
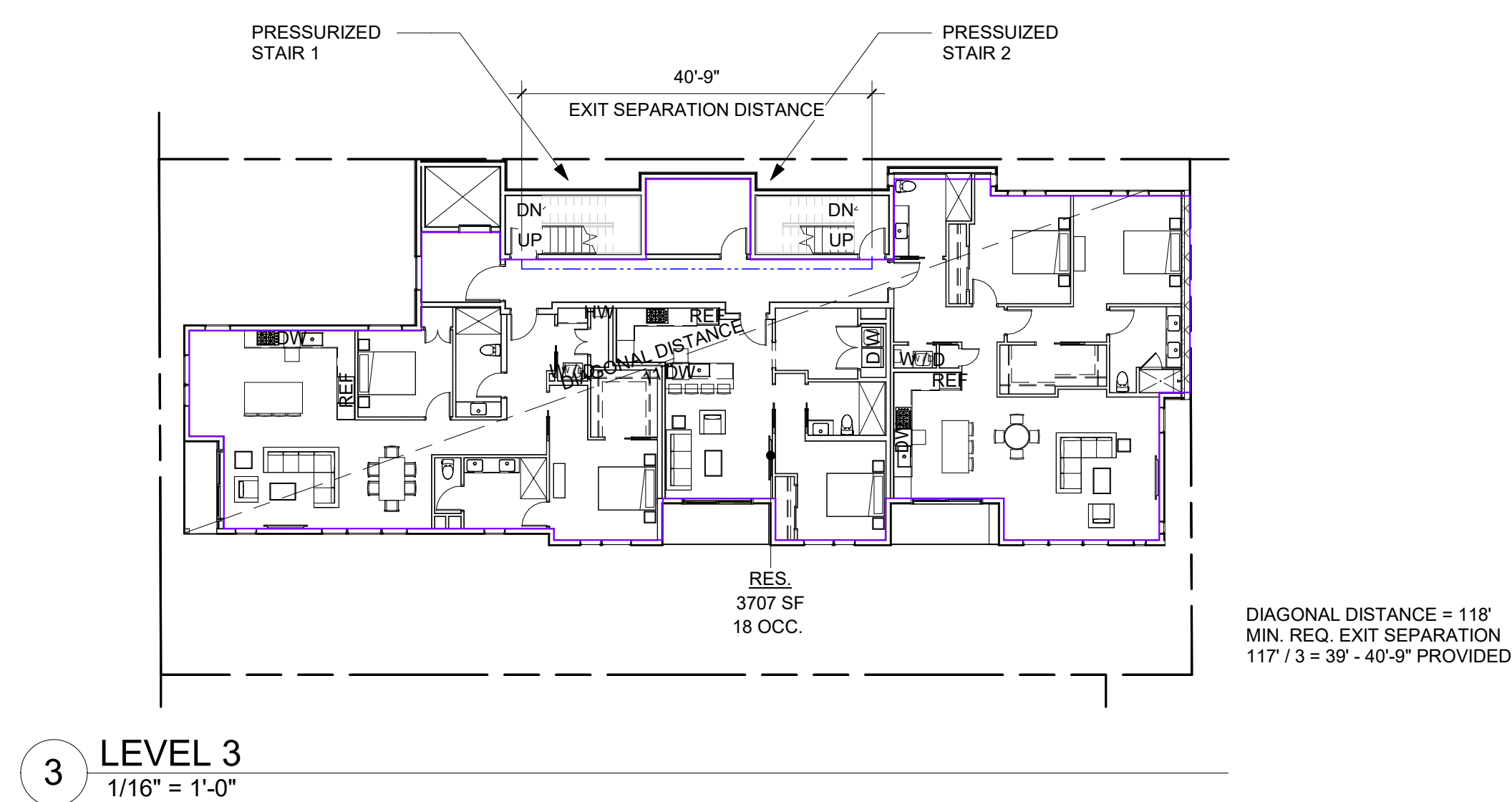
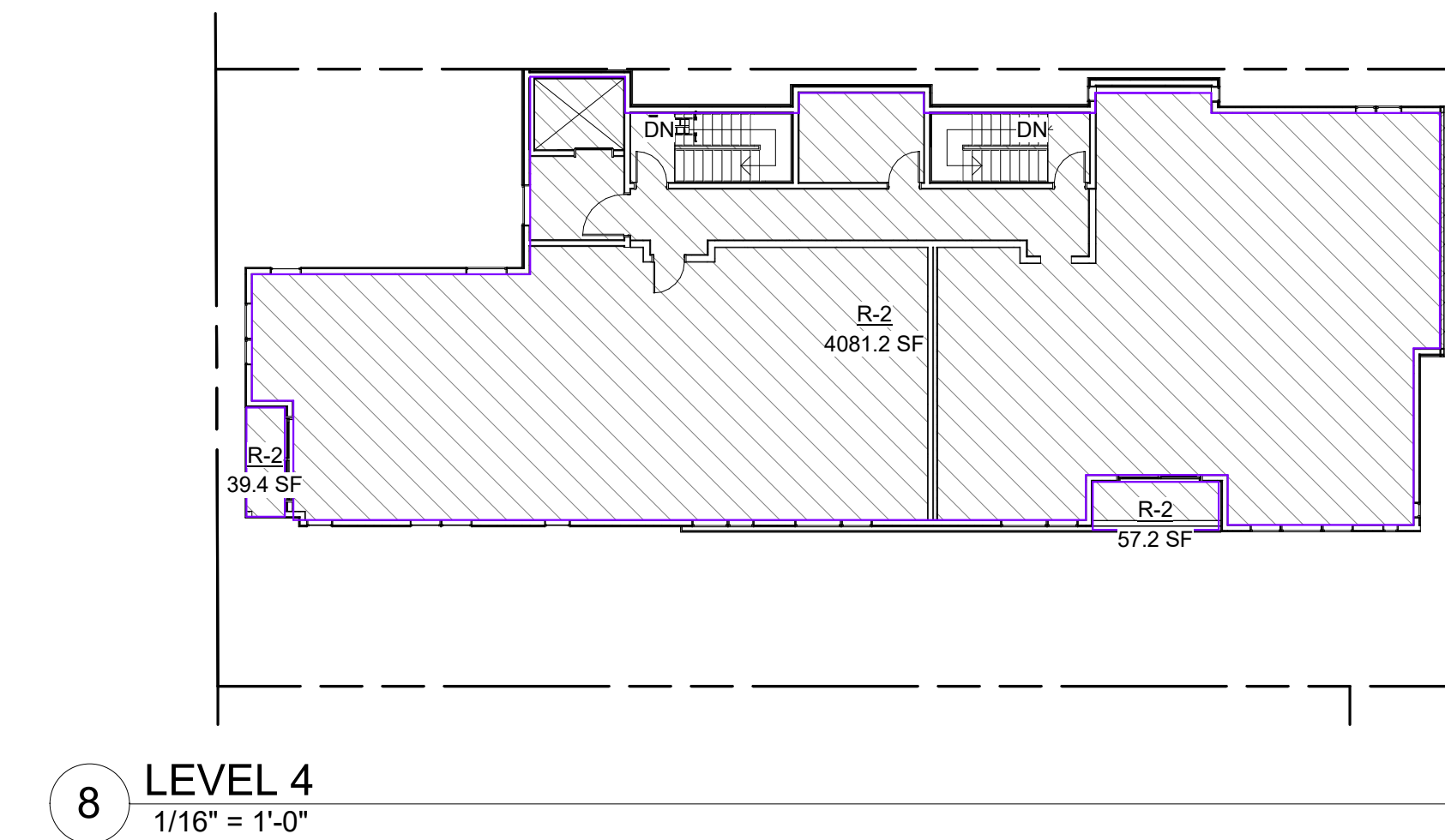
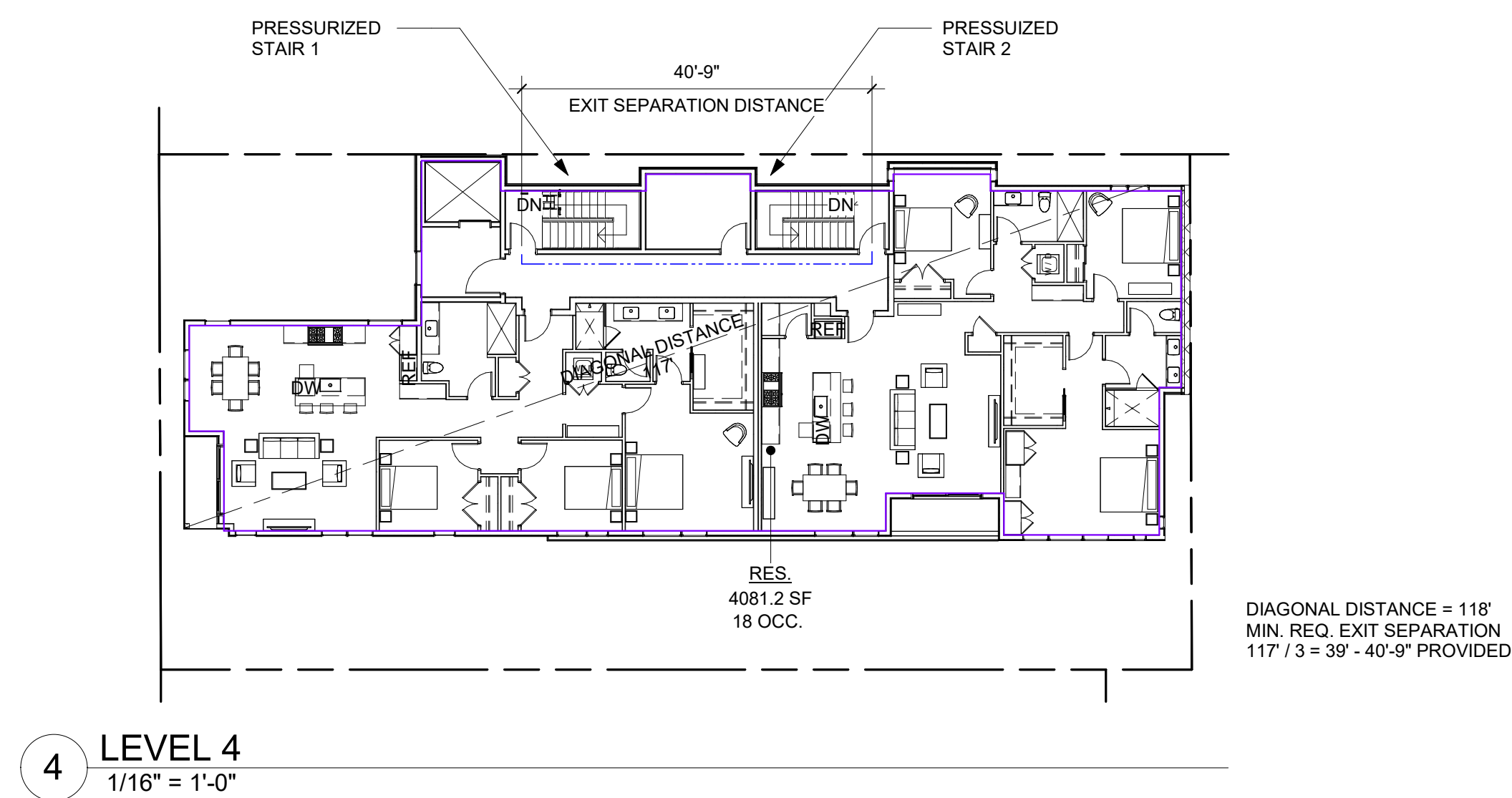
PLOT SCALE: 1:1

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2021 IBC WITH WASHINGTON STATE AMENDMENTS - BUILDING CODE ANALYSIS

CHAPTER 2 - DEFINITIONS	BUILDING AREA - THE AREA INCLUDED WITHIN THE SURROUNDING EXTERIOR WALLS, OR EXTERIOR WALLS AND FIRE WALLS, EXCLUSIVE OF VENT SHAFTS AND COURTS, AREAS OF THE BUILDING NOT PROVIDED WITH SURROUNDING WALLS SHALL BE INCLUDED IN THE BUILDING AREA IF SUCH AREAS ARE INCLUDED WITHIN THE HORIZONTAL PROJECTION OF THE ROOF OR FLOOR ABOVE.	CHAPTER 8 - INTERIOR FINISHES	INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASSIFIED FOR FIRE PERFORMANCE AND SMOKE DEVELOPMENT IN ACCORDANCE WITH SECTION 803.1.1 OR 803.1.2	CHAPTER 10 - MEANS OF EGRESS	7-4" MIN. CEILING HEIGHT FOR MEANS OF EGRESS 6-8" MIN. AT STAIRS	CHAPTER 15 - ROOF ASSEMBLIES AND ROOFTOP STRUCTURES	PARAPETS SHALL BE PROVIDED ON EXTERIOR WALLS OF BUILDINGS.																																				
<p>11711 SE 8TH STREET SUITE 100 BELLEVUE, WA 98005 TEL: (425) 453-9298</p> <p>200 W. RIVER ST. SUITE 301 KETCHUM, ID 83340 TEL: (208) 726-0194</p>	<table border="1" style="margin-left: auto; margin-right: auto;"> <thead> <tr> <th colspan="2">GROSS BUILDING AREA</th> <th></th> </tr> <tr> <th>LEVEL</th> <th></th> <th>AREA</th> </tr> </thead> <tbody> <tr> <td>LEVEL 1</td> <td></td> <td>4,588 SF</td> </tr> <tr> <td>LEVEL 2</td> <td></td> <td>Not Enclosed</td> </tr> <tr> <td>LEVEL 3</td> <td></td> <td>Not Enclosed</td> </tr> <tr> <td>LEVEL 4</td> <td></td> <td>Not Enclosed</td> </tr> <tr> <td colspan="2"></td> <td>4,588 SF</td> </tr> </tbody> </table>	GROSS BUILDING AREA			LEVEL		AREA	LEVEL 1		4,588 SF	LEVEL 2		Not Enclosed	LEVEL 3		Not Enclosed	LEVEL 4		Not Enclosed			4,588 SF	<p>803.13 - INTERIOR FINISH REQUIREMENTS BASED ON OCCUPANCY</p> <p>803.13.1 - CLASS REQUIREMENT</p> <table border="1" style="margin-left: auto; margin-right: auto;"> <thead> <tr> <th>OCCUPANCY</th> <th>STAIRWAYS</th> <th>CORRIDORS</th> <th>ROOMS & ENCLOSED SPACES</th> </tr> </thead> <tbody> <tr> <td>R-2</td> <td>CLASS C</td> <td>CLASS C</td> <td>CLASS C</td> </tr> <tr> <td>B</td> <td>CLASS B</td> <td>CLASS C</td> <td>CLASS C</td> </tr> <tr> <td>S-2</td> <td>CLASS C</td> <td>CLASS C</td> <td>CLASS C</td> </tr> </tbody> </table>	OCCUPANCY	STAIRWAYS	CORRIDORS	ROOMS & ENCLOSED SPACES	R-2	CLASS C	CLASS C	CLASS C	B	CLASS B	CLASS C	CLASS C	S-2	CLASS C	CLASS C	CLASS C	<p>1003.2 - CEILING HEIGHT</p> <p>T1004.5 - OCCUPANT LOAD FACTORS</p> <p>1004.2.1 INTERVENING SPACES OR ACCESSORY AREAS</p> <p>1004.7 - OUTDOOR AREAS</p> <p>1004.9 - POSTING OF OCCUPANT LOAD</p> <p>1011.2 WIDTH AND CAPACITY</p> <p>1006.2.1 - SPACES WITH ONE EXIT</p> <p>T1006.3.2 - MINIMUM NUMBER OF EXITS PER STORY</p> <p>1007.1.1 - TWO EXITS OR EXIT ACCESS DOORWAYS</p> <p>1009.1 - ACCESSIBLE MEANS OF EGRESS</p> <p>1009.2.1 - ELEVATORS REQUIRED</p> <p>1009.8 - TWO WAY COMMUNICATION</p> <p>1009.8.1 - SYSTEM REQUIREMENTS</p> <p>1010.1.1 - SIZE OF DOORS</p> <p>1010.1.2.1 - DIRECTION OF SWING</p> <p>1010.1.9 - DOOR OPERATIONS</p> <p>1011.2 EX.1 - STAIRWAY WIDTH AND CAPACITY</p> <p>1011.2.2 ROOF ACCESS</p> <p>1013.1 - EXIT SIGNS</p> <p>T1017.2 - EXIT ACCESS TRAVEL DISTANCE</p> <p>1020.1.1 - HOISTWAY OPENING PROTECTION</p> <p>1020.2 - CORRIDOR WIDTH AND CAPACITY</p> <p>1023.2 - CONSTRUCTION</p> <p>1023.12 - STANDPIPES</p> <p>1028 - EXIT DISCHARGE</p> <p>1028.2 EXIT DISCHARGE</p>	<p>7-4" MIN. CEILING HEIGHT FOR MEANS OF EGRESS 6-8" MIN. AT STAIRS</p> <p>ACCESSORY STORAGE/MECH/EQUIP 1/200 GROSS BUSINESS AREAS 1/150 GROSS RESIDENTIAL 1/200 GROSS</p> <p>SEE EGRESS DIAGRAMS FOR OCCUPANT LOADS</p> <p>THE DESIGN OCCUPANT LOAD SHALL BE THE COMBINED OCCUPANT LOAD OF INTERCONNECTED ACCESSORY OR INTERVENING SPACES.</p> <p>THE OCCUPANT LOAD OF SUCH OUTDOOR AREAS SHALL BE ASSIGNED BY THE BUILDING OFFICIAL IN ACCORDANCE WITH THE ANTICIPATED USE.</p> <p>ROOMS AND SPACES WITH AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD POSTED IN A CONSPICUOUS PLACE</p> <p>MIN. 44" STAIRWAY WIDTH REQUIRED</p> <p>EXCEPTION 1. STAIRWAYS SERVING AN OCCUPANT LOAD OF LESS THAN 50 SHALL HAVE A WIDTH OF NOT LESS THAN 36 INCHES</p> <p>L-2 OCCUPANT LOADS < 90 - 36" WIDE STAIR WAY PROVIDED</p> <p>R-2 OCCUPANCY: MAX OCC. = 20 MAX COMMON PATH W/ SPRINKLER = 125' B OCCUPANCY: MAX OCC. = 49 COMMON PATH W/ SPRINKLER = 100' S-2 OCCUPANCY: MAX OCC. = 29 MAX COMMON PATH W/ SPRINKLER = 100'</p> <p>ALL STORIES REQUIRE 2 EXITS 1-500 OCCUPANTS = 2 EXITS REQUIRED - 2 EXITS PROVIDED</p> <p>EX. 1 - MINIMUM 1-HOUR RATED CORRIDOR PROVIDED THROUGHOUT THE BUILDING. SHORTEST DIRECT LINE OF TRAVEL WITHIN THE CORRIDOR WILL BE USED</p> <p>EX. 2 - AUTOMATIC SPRINKLER SYSTEM PROVIDED. SEPARATION DISTANCE SHALL BE 1/3 THE MAXIMUM OVERALL DIAGONAL.</p> <p>ACCESSIBLE SPACES SHALL BE PROVIDED WITH NOT LESS THAN ONE ACCESSIBLE MEANS OF EGRESS</p> <p>TWO EXITS ARE REQUIRED. TWO ACCESSIBLE MEANS OF EGRESS ARE PROVIDED AS STAIR ENCLOSURE STAIR 1 AND STAIR 2</p> <p>BUILDING IS 4 STORIES - AN ACCESSIBLE ELEVATOR WITH TANDBY POWER COMPLYING WITH IBC 1009.4 IS PROVIDED</p> <p>A TWO-WAY COMMUNICATION SYSTEM COMPLYING WITH SECTIONS 1009.8.1 AND 1009.8.2 SHALL BE PROVIDED AT THE LANDING SERVING THE ELEVATOR ON EACH ACCESSIBLE FLOOR THAT IS ONE OR MORE STORIES ABOVE OR BELOW THE LEVEL OF EXIT DISCHARGE.</p> <p>A TWO-WAY COMMUNICATION SYSTEM SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 1009.8.1, AND INCLUDE A 90 MINUTE BATTERY BACKUP.</p> <p>AS REQUIRED FOR OCCUPANT LOAD AND NO LESS THAN 32" CLEAR IN THE 90 DEGREE POSITION. MIN. CLEAR DOOR HEIGHT 80"</p> <p>SWINGING DOORS SHALL SWING IN THE DIRECTION OF EGRESS WHERE SERVING A ROOM OR AREA WITH AN OCCUPANT LOAD OF 50 OR MORE</p> <p>EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT</p> <p>STAIRWAYS SERVING AN OCCUPANT LOAD OF LESS THAN 50 SHALL HAVE A WIDTH OF NOT LESS THAN 36". 36" WIDE STAIRS PROVIDED.</p> <p>ACCESS TO THE ROOF SHALL BE PERMITTED TO BE A ROOF HATCH OR TRAP DOOR NOT LESS THAN 16 SQUARE FEET IN AREA AND HAVING A MINIMUM DIMENSION OF 2 FEET 6 INCHES.</p> <p>REQUIRED EXCEPT IN ROOMS THAT ONLY REQUIRE ONE EXIT ACCESS</p> <p>MAXIMUM TRAVEL DISTANCE WITH AUTOMATIC FIRE SPRINKLER SYSTEM FOR GROUP R-2 = 250' MAX FOR GROUP B = 300' MAX FOR GROUP S-2 = 400' MAX</p> <p>ELEVATOR HOISTWAY OPENINGS SHALL BE PROTECTED IN ACCORDANCE WITH SECTION 3006.2.1.</p> <p>GENERAL OCCUPANCIES - 44" MIN. ACCESS TO & UTILIZATION OF MEP SYSTEMS OR EQUIPMENT - 24" MIN. OCCUPANT LOAD LESS THAN 50 - 36" MIN. 69" WIDE CORRIDORS PROVIDED AT RESIDENTIAL LEVELS.</p> <p>ENCLOSURES FOR INTERIOR EXIT STAIRWAYS AND RAMPS SHALL BE CONSTRUCTED AS FIRE BARRIERS IN ACCORDANCE WITH SECTION 707. ENCLOSURES SHALL HAVE A FIRE-RESISTANCE RATING OF LESS THAN 2 HOURS WHERE CONNECTING FOUR STORIES OR MORE. (CONTINUOUS 2-HR RATED ENCLOSURES PROVIDED, COMPLIES.)</p> <p>STANDPIPES SHALL BE PROVIDED WHERE REQUIRED BY 905.3 AND 905.4</p> <p>THE EXIT DISCHARGE SHALL OPEN DIRECTLY TO THE EXTERIOR OF THE BUILDING AND PROVIDE A DIRECT ROUTE TO A PUBLIC RIGHT OF WAY.</p> <p>EXCEPTION 2: NOT MORE THAN 50 PERCENT OF THE NUMBER AND MINIMUM WIDTH OR REQUIRED CAPACITY OF THE INTERIOR EXIT STAIRWAYS AND RAMPS IS PERMITTED TO EGRESS THROUGH A VESTIBULE PROVIDED THAT ALL OF THE FOLLOWING CONDITIONS ARE MET: 1. THE ENTIRE AREA OF THE VESTIBULE IS SEPARATED FROM AREAS BELOW BY CONSTRUCTION CONFORMING TO THE FIRE-RESISTANCE RATING OF THE INTERIOR EXIT STAIRWAY OR RAMP ENCLOSURE. 2. THE DEPTH FROM THE EXTERIOR OF THE BUILDING IS NOT GREATER THAN 10 FEET AND THE LENGTH IS NOT GREATER THAN 30 FEET. 3. THE AREA IS SEPARATED FROM THE REMAINDER OF THE LEVEL OF EXIT DISCHARGE BY A FIRE PARTITION CONSTRUCTED IN ACCORDANCE WITH SECTION 708. 4. THE AREA IS USED ONLY FOR MEANS OF EGRESS AND EXITS DIRECTLY TO THE OUTSIDE.</p>	<p>705.11 - PARAPETS</p> <p>705.11.1 - PARAPET CONSTRUCTION</p> <p>TABLE 1505.1 - FIRE CLASSIFICATION</p> <p>1507.10.1 - ROOF SLOPE</p> <p>15.10.2.1 - HEIGHT ABOVE ROOF DECK</p> <p>1510.2.2 - USE LIMITATIONS</p> <p>1510.6 - MECHANICAL EQUIPMENT SCREEN HEIGHT LIMITATION</p> <p>CHAPTER 27 - ELECTRICAL</p> <p>2702 - EMERGENCY AND STANDBY POWER SYSTEMS</p> <p>2702.2.3 - EMERGENCY RESPONDER RADIO COVERAGE SYSTEMS</p> <p>2702.2.4 - EMERGENCY VOICE /ALARM COMMUNICATION SYSTEMS</p> <p>CHAPTER 28 - MECHANICAL</p> <p>2801.1 - SCOPE</p> <p>CHAPTER 29 - PLUMBING</p> <p>2902.2 - SEPARATE FACILITIES</p> <p>2902.3.3 - LOCATION OF TOILET FACILITIES</p> <p>2902.4 - SIGNAGE</p> <p>2902.5.1 - DRINKING FOUNTAIN</p> <p>2902.1 MINIMUM NUMBER OF FIXTURES</p> <p>CHAPTER 30 - ELEVATORS AND CONVEYING SYSTEMS</p> <p>3001.2 EMERGENCY ELEVATOR COMMUNICATION SYSTEMS FOR THE DEAF, HARD OF HEARING AND SPEECH IMPAIRED</p> <p>3003.1.2 - ONE ELEVATOR</p> <p>3006.2 - HOISTWAY OPENING PROTECTION</p> <p>ENERGY PERFORMANCE</p> <p>WSEC C407</p> <p>WSEC C409</p> <p>CHAPTER 33 - SAFEGUARDS DURING CONSTRUCTION</p>	<p>PARAPETS SHALL BE PROVIDED ON EXTERIOR WALLS OF BUILDINGS.</p> <p>PARAPETS SHALL HAVE THE SAME FIRE-RESISTANCE RATINGS AS THAT REQUIRED FOR THE SUPPORTING WALL, AND ON ANY SIDE ADJACENT TO A ROOF SURFACE, SHALL HAVE NONCOMBUSTIBLE FACES FOR THE UPPERMOST 18 INCHES, INCLUDING COUNTERFLASHING AND COPING MATERIALS. THE HEIGHT OF THE PARAPET SHALL BE NOT LESS THAN 30 INCHES ABOVE THE POINT WHERE THE ROOF SURFACE AND THE WALL INTERSECT.</p> <p>CONSTRUCTION TYPE V-A CLASS B ROOF COVERING REQUIRED.</p> <p>BUILT-UP ROOFS SHALL HAVE A DESIGN SLOPE OF 1/4": 1FT MIN. (2% SLOPE) FOR DRAINAGE.</p> <p>PENTHOUSES SHALL NOT EXCEED 18" ABOVE THE ROOF DECK. UP TO 28" FOR ELEVATORS.</p> <p>PENTHOUSES CAN BE USED FOR SHELTER OF MECHANICAL AND ELECTRICAL EQUIPMENT, TANKS, ELEVATORS AND RELATED MACHINERY OR VERTICAL SHAFT OPENINGS.</p> <p>MECHANICAL EQUIPMENT SCREENS SHALL NOT EXCEED 18 FEET IN HEIGHT ABOVE THE ROOF DECK.</p> <p>EMERGENCY POWER SYSTEMS AND STANDBY POWER SYSTEMS SHALL COMPLY WITH SECTIONS 2702.1.1 THROUGH 2702.1.8.</p> <p>EMERGENCY POWER SYSTEMS AND STANDBY POWER SYSTEMS REQUIRED BY THIS CODE OR THE INTERNATIONAL FIRE CODE SHALL BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL FIRE CODE, NFPA 70, NFPA 110 AND NFPA 172.</p> <p>STANDBY POWER SHALL BE PROVIDED FOR EMERGENCY RESPONDER RADIO COVERAGE SYSTEMS REQUIRED IN SECTION 2702.3 AND THE INTERNATIONAL FIRE CODE. THE STANDBY POWER SUPPLY SHALL BE CAPABLE OF OPERATING THE EMERGENCY RESPONDER RADIO COVERAGE SYSTEM FOR A DURATION OF NOT LESS THAN 12 HOURS AT 100-PERCENT SYSTEM OPERATION CAPACITY.</p> <p>EMERGENCY POWER SHALL BE PROVIDED FOR EMERGENCY VOICE/ALARM COMMUNICATION SYSTEMS AS REQUIRED IN SECTION 2702.4. THE SYSTEM SHALL BE CAPABLE OF POWERING THE REQUIRED LOAD FOR A DURATION OF NOT LESS THAN 24 HOURS, AS REQUIRED IN NFPA 72.</p> <p>THE PROVISIONS OF THIS CHAPTER, THE INTERNATIONAL MECHANICAL CODE AND THE INTERNATIONAL FUEL GAS CODE SHALL GOVERN THE DESIGN, CONSTRUCTION, ERECTION AND INSTALLATION OF MECHANICAL APPLIANCES, EQUIPMENT AND SYSTEMS USED IN BUILDINGS AND STRUCTURES COVERED BY THIS CODE.</p> <p>CHAPTER 29 - PLUMBING</p> <p>2902.2 - SEPARATE FACILITIES</p> <p>2902.3.3 - LOCATION OF TOILET FACILITIES</p> <p>2902.4 - SIGNAGE</p> <p>2902.5.1 - DRINKING FOUNTAIN</p> <p>2902.1 MINIMUM NUMBER OF FIXTURES</p> <p>CHAPTER 30 - ELEVATORS AND CONVEYING SYSTEMS</p> <p>3001.2 EMERGENCY ELEVATOR COMMUNICATION SYSTEMS FOR THE DEAF, HARD OF HEARING AND SPEECH IMPAIRED</p> <p>AN EMERGENCY TWO-WAY COMMUNICATION SYSTEM SHALL BE PROVIDED THAT:</p> <ol style="list-style-type: none"> IS A VISUAL AND TEXT-BASED AND A VIDEO-BASED 24/7 LIVE INTERACTIVE SYSTEM. IS FULLY ACCESSIBLE BY THE DEAF, HARD OF HEARING AND SPEECH IMPAIRED, AND SHALL INCLUDE VOICE-ONLY OPTIONS FOR HEARING INDIVIDUALS. HAS THE ABILITY TO COMMUNICATE WITH EMERGENCY PERSONNEL UTILIZING EXISTING VIDEO CONFERENCING TECHNOLOGY, CHAT/TEXT SOFTWARE OR OTHER APPROVED TECHNOLOGY. <p>WHERE ONLY ONE ELEVATOR IS INSTALLED, THE ELEVATOR SHALL AUTOMATICALLY TRANSFER TO STANDBY POWER WITHIN 60 SECONDS AFTER FAILURE OF NORMAL POWER. STANDBY POWER PROVIDED</p> <p>HOISTWAY OPENING PROTECTION IS REQUIRED. HOISTWAY OPENING PROTECTION IS PROVIDED VIA ENCLOSED ELEVATOR LOBBIES IN ACCORDANCE WITH IBC SECTION 3006.3</p>
GROSS BUILDING AREA																																											
LEVEL		AREA																																									
LEVEL 1		4,588 SF																																									
LEVEL 2		Not Enclosed																																									
LEVEL 3		Not Enclosed																																									
LEVEL 4		Not Enclosed																																									
		4,588 SF																																									
OCCUPANCY	STAIRWAYS	CORRIDORS	ROOMS & ENCLOSED SPACES																																								
R-2	CLASS C	CLASS C	CLASS C																																								
B	CLASS B	CLASS C	CLASS C																																								
S-2	CLASS C	CLASS C	CLASS C																																								
<p>310.3 - OCCUPANCY CLASSIFICATION AND USE</p> <p>310.3.1 - SMALL BUILDINGS AND TENANT SPACES</p> <p>311.3 - LOW-HAZARD STORAGE GROUP S-2</p> <p>CHAPTER 4 - SPECIAL REQUIREMENTS PER USE AND OCCUPANCY</p> <p>406.6 - ENCLOSED PARKING GARAGES</p> <p>406.2.3 - CLEAR HEIGHT</p> <p>406.2.3 - ACCESSIBLE PARKING SPACES</p> <p>420.2 - SEPARATION WALLS</p> <p>420.3 - HORIZONTAL SEPARATION</p> <p>420.4 - AUTOMATIC SPRINKLER SYSTEM</p> <p>420.5 - FIRE ALARM SYSTEMS AND SMOKE ALARMS</p> <p>420.9 - GROUP R COOKING FACILITIES</p> <p>429.2 - REQUIRED ELECTRIC VEHICLE CHARGING INFRASTRUCTURE</p> <p>CHAPTER 6 - BUILDING HEIGHTS AND AREAS</p> <p>T504.3 - ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE PLANE</p> <p>T504.4 - ALLOWABLE STORIES ABOVE GRADE PLANE</p> <p>T506.2 - ALLOWABLE AREA FACTOR IN SQUARE FEET</p> <p>508.3.3 - SEPARATION</p> <p>508.2.4 SEPARATION OF OCCUPANCIES, EX. 2</p> <p>508.2 ACCESSORY OCCUPANCIES</p> <p>508.4 - REQUIRED SEPARATION OF OCCUPANCIES</p> <p>CHAPTER 6 - TYPES OF CONSTRUCTION</p> <p>T601 FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS</p> <p>T602 CONSTRUCTION CLASSIFICATION</p> <p>602.5 - TYPE V</p> <p>CHAPTER 7 - FIRE AND SMOKE PROTECTION FEATURES</p> <p>704 - PROTECTION</p> <p>T705.8 - MAXIMUM AREA OF EXTERIOR WALL OPENINGS</p> <p>707 - FIRE BARRIERS</p> <p>708.3 - FIRE PARTITIONS</p> <p>711.2.4.3 - DWELLING UNITS AND SLEEPING UNITS</p> <p>714 - PENETRATIONS</p> <p>T716.1(2) - OPENING FIRE PROTECTION ASSEMBLIES</p> <p>718.1 - CONCEALED SPACES</p>	<p>PROPOSED OCCUPANCY AND USE:</p> <p>R-2 RESIDENTIAL UNITS AND ACCESSORY SPACES S-2 GARAGE AND UTILITY</p> <p>A BUILDING OR TENANT SPACE USED FOR ASSEMBLY PURPOSES WITH AN OCCUPANT LOAD OF LESS THAN 50 PERSONS SHALL BE CLASSIFIED AS A GROUP R-2 OCCUPANCY.</p> <p>AMENITY ASSEMBLY SPACES UNDER 750 SQFT SHALL BE CONSIDERED R-2.</p> <p>STORAGE GROUP S-2 OCCUPANCIES INCLUDE, AMONG OTHERS, BUILDINGS USED FOR THE STORAGE OF NONCOMBUSTIBLE MATERIALS... INCLUDES PARKING GARAGES, OPEN OR ENCLOSED</p> <p>ENCLOSED PARKING GARAGES SHALL BE EQUIPPED WITH SPRINKLER SYSTEM AND VENTILATION SYSTEM</p> <p>7'-0" MIN. CLEAR HEIGHT REQUIRED AT GARAGE. MAINTAIN 8'-0" CLEAR AT L1.</p> <p>ACCESSIBLE PARKING, IF REQUIRED, MUST MEET IBC SECTION 1106. (1) ACCESSIBLE STALLS REQUIRED - (1) SHALL BE A VAN STALL - (1) VAN STALL PROVIDED SEE SHEET A2.0 FOR ACCESSIBLE AND VAN STALL LOCATIONS</p> <p>WALLS SEPARATING DWELLING UNITS IN THE SAME BUILDING, WALLS SEPARATING SLEEPING UNITS IN THE SAME BUILDING AND WALLS SEPARATING DWELLING OR SLEEPING UNITS FROM OTHER OCCUPANCIES CONTIGUOUS TO THEM IN THE SAME BUILDING SHALL BE CONSTRUCTED AS FIRE PARTITIONS IN ACCORDANCE WITH SECTION 708.</p> <p>FLOOR ASSEMBLIES SEPARATING DWELLING UNITS IN THE SAME BUILDINGS, FLOOR ASSEMBLIES SEPARATING SLEEPING UNITS IN THE SAME BUILDING AND FLOOR ASSEMBLIES SEPARATING DWELLING OR SLEEPING UNITS FROM OTHER OCCUPANCIES CONTIGUOUS TO THEM IN THE SAME BUILDING SHALL BE CONSTRUCTED AS HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711.</p> <p>REFER TO FIRE RATING DIAGRAMS ON SHEET AXX AND AXX</p> <p>GROUP R OCCUPANCIES SHALL BE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.2.2 NFPA 13 AUTOMATIC SPRINKLER SYSTEM PROVIDED.</p> <p>FIRE ALARM SYSTEMS AND SMOKE ALARMS SHALL BE PROVIDED IN GROUP I-1, R-1 AND R-2 OCCUPANCIES IN ACCORDANCE WITH SECTIONS 907.2.6, 907.2.8 AND 907.2.9, RESPECTIVELY. SINGLE- OR MULTIPLE-STATION SMOKE ALARMS SHALL BE PROVIDED IN GROUPS I-1, R-2, R-3 AND R-4 IN ACCORDANCE WITH SECTION 907.2.10.</p> <p>IN GROUP R OCCUPANCIES, COOKING APPLIANCES USED FOR DOMESTIC COOKING OPERATIONS SHALL BE IN ACCORDANCE WITH SECTION 917.2 OF THE INTERNATIONAL MECHANICAL CODE.</p> <p>WHERE PARKING IS PROVIDED, TEN PERCENT OF PARKING SPACES SHALL BE PROVIDED WITH ELECTRIC VEHICLE CHARGING INFRASTRUCTURE. 8 STALLS PROVIDED = 1 EV STALLS REQUIRED (1) EV CHARGING STATIONS PROVIDED (1) ACCESSIBLE EV STALLS PROVIDED - TOTAL OF (1)</p> <p>OCCUPANCY GROUP S & R - SPRINKLERED -TYPE VA CONSTRUCTION = 70' ALLOWABLE BUILDING HEIGHT, (MISC 18 11 015 MAX. HEIGHT LIMIT = 51' BY BUILDING HEIGHT PROPOSED</p> <p>SPRINKLERED -TYPE VA CONSTRUCTION GROUP S = 1 STORIES GROUP R = 4 STORIES 4 STORIES PROPOSED</p> <p>CONSTRUCTION TYPE VA, SPRINKLERED MULTI-STORY: GROUP S-2= UNLIMITED SF, 4,588 SF PROPOSED GROUP R-2= 35,000 SF, 11,355 SF PROPOSED</p> <p>S-2 AND R-2 = 1-HR SEPARATION PROVIDED</p> <p>GROUP R-2 DWELLING UNITS SHALL BE SEPARATED FROM OTHER DWELLING OR SLEEPING UNITS AND FROM ACCESSORY OCCUPANCIES 1-HR SEPARATION PROVIDED AT DEMISING AND CORRIDOR WALLS</p> <p>REQUIRED SEPARATIONS SHALL BE FIRE BARRIERS CONSTRUCTED IN ACCORDANCE WITH SECTION 707 OR HORIZONTAL ASSEMBLIES CONSTRUCTED IN ACCORDANCE WITH SECTION 711, OR BOTH, SO AS TO COMPLETELY SEPARATE ADJACENT OCCUPANCIES.</p> <p>CONSTRUCTION TYPE IA & VA SEE G2.2 FIRE RATING DIAGRAMS FOR ADDITIONAL INFORMATION</p> <p>FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCES SEE A0.6 AND C54.01 FIRE RATING DIAGRAMS FOR ADDITIONAL INFORMATION</p> <p>TYPE V CONSTRUCTION IS THAT TYPE OF CONSTRUCTION IN WHICH THE STRUCTURAL ELEMENTS, EXTERIOR WALLS, AND INTERIOR WALLS ARE OF ANY MATERIAL PERMITTED IN THIS CODE</p> <p>CONSTRUCTION TYPE IA & VA SEE G2.2 FIRE RATING DIAGRAMS FOR ADDITIONAL INFORMATION</p> <p>FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCES SEE A0.6 AND C54.01 FIRE RATING DIAGRAMS FOR ADDITIONAL INFORMATION</p> <p>COLUMNS AND CONNECTIONS SHALL BE PROVIDED WITH CONTINUOUS 1-HOUR FIRE PROTECTION PER IBC TABLE 601 FOR TYPE VA CONSTRUCTION. SECONDARY MEMBERS AND EXTERIOR STRUCTURAL MEMBERS SHALL ALSO BE PROTECTED IN ACCORDANCE WITH IBC TABLE 601 & 602</p> <p>SEE A0.6 FOR FIRE SEPARATION DISTANCES AND ALLOWABLE UNPROTECTED OPENINGS</p> <p>SEE A0.6 FOR SHAFT, INTERIOR EXIT STAIRWAY, AND EXIT PASSAGE FIRE RATING INFORMATION</p> <p>FIRE PARTITIONS SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 1 HOUR</p> <p>HORIZONTAL ASSEMBLIES SERVING AS DWELLING OR SLEEPING UNIT SEPARATIONS IN ACCORDANCE WITH SECTION 420.3 SHALL BE NOT LESS THAN 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION</p> <p>PENETRATIONS AT AN ASSEMBLY OR MEMBRANE REQUIRED TO HAVE FIRE RESISTANCE, SHALL COMPLY WITH IBC SECTION 714</p> <p>FIRE BARRIER WITH 2-HR FIRE RESISTANCE RATING REQUIRES 1 1/4-HR FIRE DOOR OR FIRE SHUTTER ASSEMBLY RATING</p> <p>FIRE PARTITIONS WITH 1-HR FIRE RESISTANCE RATING REQUIRES 1-3/4-HR FIRE DOOR ASSEMBLY RATING. (ALL OPENINGS INTO CORRIDORS ON LEVEL 2-6 REQUIRE 20-MIN FIRE DOORS)</p> <p>FIREBLOCKING AND DRAFTSTOPPING SHALL BE INSTALLED IN COMBUSTIBLE CONCEALED LOCATIONS IN ACCORDANCE WITH IBC SECTION 718.</p>	<p>803.13 - INTERIOR FINISH REQUIREMENTS BASED ON OCCUPANCY</p> <p>803.13.1 - CLASS REQUIREMENT</p> <p>803.15.1 - DIRECT ATTACHMENT AND FURRED CONSTRUCTION</p> <p>804.2 - INTERIOR FLOOR FINISH CLASSIFICATION</p> <p>804.4 - INTERIOR FLOOR FINISH REQUIREMENTS</p> <p>805</p> <p>805.1 SUBFLOOR CONSTRUCTION</p> <p>806 - DECORATIVE MATERIALS AND TRIM</p> <p>808.1.1.1 - SUSPENDED ACOUSTICAL CEILINGS</p> <p>807.1 - INSULATION</p> <p>808.1.1.1 - SUSPENDED ACOUSTICAL CEILINGS</p> <p>CHAPTER 9 - FIRE PROTECTION</p> <p>901.2 - FIRE PROTECTION SYSTEMS</p> <p>901.6 - SUPERVISORY SERVICE</p> <p>903.2.8 - AUTOMATIC SPRINKLER SYSTEMS - GROUP R</p> <p>903.3.1.1 - NFPA 13 SPRINKLER SYSTEMS</p> <p>903.3.2 - RESIDENTIAL SPRINKLERS</p> <p>903.4.1 - MONITORING</p> <p>903.4.2 - ALARMS</p> <p>905 - STANDPIPES</p> <p>905.3.8 - ROOFTOP GARDENS AND LANDSCAPED ROOFS</p> <p>906.1 - PORTABLE FIRE EXTINGUISHERS</p> <p>T906.3(1) - EXTINGUISHERS FOR CLASS A FIRE HAZARDS</p> <p>907.2.9.2 - SMOKE ALARMS</p> <p>907.2.10.2 - GROUPS R-2, R-3, R-4 AND I-1</p> <p>907.2.10.7 - SMOKE DETECTION SYSTEM</p> <p>907.2.17.1 - SMOKE DETECTORS</p> <p>907.5.2.2 - EMERGENCY VOICE/ALARM COMMUNICATION SYSTEMS</p> <p>907.5.2.3.3 - GROUP R-2</p> <p>908.21 - ELEVATOR HOISTWAY PRESSURIZATION</p> <p>918 - EMERGENCY RESPONDER RADIO COVERAGE</p>	<p>INTERIOR WALL AND CEILING FINISH SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN THAT SPECIFIED IN TABLE 803.13 FOR THE GROUP AND LOCATION DESIGNATED</p> <p>INTERIOR WALL AND CEILING FINISH CLASS REQUIREMENT (SPRINKLERED):</p> <p>WHERE WALLS, CEILINGS OR STRUCTURAL ELEMENTS ARE REQUIRED TO BE FIRE-RATED OR NONCOMBUSTIBLE CONSTRUCTION, THE INTERIOR FINISH MATERIAL SHALL BE APPLIED DIRECTLY AGAINST SUCH CONSTRUCTION OR TO FURRING STRIPS NOT EXCEEDING 1/4 INCHES, APPLIED DIRECTLY AGAINST SUCH SURFACES</p> <p>INTERIOR FLOOR FINISH AND FLOOR COVERING MATERIALS REQUIRED BY SECTION 804.2 TO BE OF CLASS I OR II MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E848 OR NFPA 253</p> <p>INTERIOR FLOOR COVERING MATERIALS SHALL COMPLY WITH SECTIONS 804.4.1 AND 804.4.2 AND INTERIOR FLOOR FINISH MATERIALS SHALL COMPLY WITH SECTION 804.4.2</p> <p>806.1 - FURNISHINGS OR DECORATIVE MATERIALS OF AN EXPLOSIVE OR HIGHLY FLAMMABLE CHARACTER SHALL NOT BE USED. FURNISHINGS AND OBJECTS SHALL NOT OBSTRUCT EXITS OR ACCESS.</p> <p>806.7 - MATERIAL, OTHER THAN FOAM PLASTIC USED AS INTERIOR TRIM, SHALL HAVE A MINIMUM CLASS C FLAME SPREAD AND SMOKE-DEVELOPED INDEX WHEN TESTED IN ACCORDANCE WITH ASTM E84 OR UL 723, AS DESCRIBED IN SECTION 803.1.2. COMBUSTIBLE TRIM, EXCLUDING HANDRAILS AND GUARDRAILS, SHALL NOT EXCEED 10 PERCENT OF THE SPECIFIC WALL OR CEILING AREA TO WHICH IT IS ATTACHED.</p> <p>806.8 - INTERIOR FLOOR/WALL BASE THAT IS 8 INCHES OR LESS IN HEIGHT SHALL BE TESTED PER SECTION 804.2 AND SHALL BE NOT LESS THAN CLASS II</p> <p>THERMAL AND ACOUSTICAL INSULATION SHALL COMPLY WITH SECTION 720</p> <p>SUSPENDED ACOUSTICAL CEILING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF ASTM C635 AND ASTM C636. ACOUSTICAL MATERIALS TO COMPLY WITH IBC 803.</p> <p>INSTALL SUSPENDED CEILING SYSTEMS PER MANUFACTURER'S ICC EVALUATION REPORT. GC TO PROVIDE ICC ER REPORT AND CONFIRM INSTALLATION DETAILS PRIOR TO INSTALLATION</p> <p>FIRE PROTECTION SYSTEMS SHALL BE INSTALLED, REPAIRED, OPERATED AND MAINTAINED IN ACCORDANCE WITH THIS CODE AND THE INTERNATIONAL FIRE CODE</p> <p>ALL FIRE PROTECTION SYSTEMS SHALL BE MONITORED BY AN APPROVED SUPERVISING STATION</p> <p>AN AUTOMATIC FIRE SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3 SHALL BE PROVIDED THROUGHOUT ALL BUILDINGS WITH A GROUP R FIRE AREA</p> <p>SPRINKLERS SHALL BE INSTALLED THROUGHOUT IN ACCORDANCE WITH NFPA 13 EXCEPT AS PROVIDED IN SECTIONS 903.3.1.1.1 AND 903.3.1.1.2.</p> <p>DWELLING UNITS AND SLEEPING UNITS ARE REQUIRED TO HAVE QUICK RESPONSE OR RESIDENTIAL SPRINKLERS</p> <p>ALARM, SUPERVISORY AND TROUBLE SIGNALS SHALL BE DISTINCTLY DIFFERENT AND SHALL BE AUTOMATICALLY TRANSMITTED TO AN APPROVED SUPERVISING STATION OR, WHERE APPROVED BY THE FIRE CODE OFFICIAL, SHALL SOUND AN AUDIBLE SIGNAL AT A CONSTANTLY</p> <p>AN APPROVED AUDIBLE DEVICE, LOCATED ON THE EXTERIOR OF THE BUILDING IN AN APPROVED LOCATION, SHALL BE CONNECTED TO EACH AUTOMATIC SPRINKLER SYSTEM AND ACTIVATED BY WATER FLOW EQUIVALENT TO THE FLOW OF A SINGLE SPRINKLER OF THE SMALLEST ORIFICE SIZE INSTALLED IN THE SYSTEM. ACTUATION OF THE AUTOMATIC SPRINKLER SYSTEM SHALL ACTIVATE THE BUILDING FIRE ALARM SYSTEM</p> <p>CLASS I STANDPIPES SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 13 AND IBC SECTION 903.3.1.1 IN SPRINKLERED BUILDINGS</p> <p>BUILDINGS OR STRUCTURES THAT HAVE ROOFTOP GARDENS OR LANDSCAPED ROOFS AND THAT ARE EQUIPPED WITH A STANDPIPE SYSTEM SHALL HAVE THE STANDPIPE SYSTEM EXTENDED TO THE ROOF LEVEL ON WHICH THE ROOFTOP GARDEN OR LANDSCAPED ROOF IS LOCATED</p> <p>PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED IN B, S AND R-2 OCCUPANCIES, IN GROUP R-2 OCCUPANCIES, PORTABLE FIRE EXTINGUISHERS SHALL BE REQUIRED ONLY IN LOCATIONS SPECIFIED IN ITEMS 2 THROUGH 6 WHERE EACH DWELLING UNIT IS PROVIDED WITH A PORTABLE FIRE EXTINGUISHER HAVING A MINIMUM RATING OF 1-A-10-B-C.</p> <p>PROVIDE 1 EXTINGUISHER FOR EVERY 11,250 SF, AND LIMIT TRAVEL DISTANCE TO 75 FEET. SEE FLOOR PLANS FOR EXTINGUISHER LOCATIONS</p> <p>SINGLE- AND MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 907.2.10</p> <p>SINGLE-OR MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED AND MAINTAINED IN GROUPS R-2, R-3, R-4 AND I-1 REGARDLESS OF OCCUPANT LOAD AT ALL OF THE FOLLOWING LOCATIONS:</p> <ol style="list-style-type: none"> ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS. IN EACH ROOM USED FOR SLEEPING PURPOSES. <p>SMOKE DETECTORS LISTED IN ACCORDANCE WITH UL 268 AND PROVIDED AS PART OF THE BUILDING FIRE ALARM SYSTEM SHALL BE AN ACCEPTABLE ALTERNATIVE TO SINGLE- AND MULTIPLE-STATION SMOKE</p> <p>NOT FEWER THAN ONE SMOKE DETECTOR LISTED FOR THE INTENDED PURPOSE SHALL BE INSTALLED IN ALL OF THE FOLLOWING AREAS:</p> <ol style="list-style-type: none"> MECHANICAL EQUIPMENT, ELECTRICAL, TRANSFORMER, TELEPHONE EQUIPMENT, ELEVATOR MACHINE OR SIMILAR ROOMS. ELEVATOR LOBBIES THE MAIN RETURN AND EXHAUST AIR PLENUM OF EACH AIR-CONDITIONING SYSTEM SERVING MORE THAN ONE STORY AND LOCATED IN A SERVICEABLE AREA DOWNSTREAM OF THE LAST DUCT LINE. EACH CONNECTION TO A VERTICAL DUCT OR RISER SERVING TWO OR MORE FLOORS FROM RETURN AIR DUCTS OR PLENUMS OF HEATING, VENTILATING AND AIR-CONDITIONING SYSTEMS, EXCEPT THAT IN GROUP R OCCUPANCIES, A LISTED SMOKE DETECTOR IS ALLOWED TO BE USED IN EACH RETURN AIR RISER CARRYING NOT MORE THAN 5,000 CFM (2.4 M3/S) AND SERVING NOT MORE THAN 10 AIR-INLET OPENINGS. <p>ALL STRUCTURES TO BE EQUIPPED THROUGHOUT WITH EMERGENCY VOICE/ALARM COMMUNICATION SYSTEMS WHERE REQUIRED BY CODE. SYSTEMS SHALL BE DESIGNED & INSTALLED IN ACCORDANCE WITH NFPA</p> <p>IN GROUP R-2 OCCUPANCIES REQUIRED BY SECTION 907 TO HAVE A FIRE ALARM SYSTEM, EACH STORY THAT CONTAINS DWELLING UNITS AND SLEEPING UNITS SHALL BE PROVIDED WITH THE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATION APPLIANCES IN ACCORDANCE WITH CHAPTER 10 OF ICC A117.1. SUCH CAPABILITY SHALL ACCOMMODATE WIRED OR WIRELESS EQUIPMENT. THE FUTURE CAPABILITY SHALL INCLUDE ONE OF THE FOLLOWING:</p> <ol style="list-style-type: none"> THE INTERCONNECTION OF THE BUILDING FIRE ALARM SYSTEM WITH THE UNIT SMOKE ALARMS. THE REPLACEMENT OF AUDIBLE APPLIANCES WITH COMBINATION AUDIBLE/VISIBLE APPLIANCES. THE FUTURE EXTENSION OF THE EXISTING WIRING FROM THE UNIT SMOKE ALARM LOCATIONS TO REQUIRED LOCATIONS FOR VISIBLE APPLIANCES. <p>ELEVATOR LOBBY PROVIDED. HOISTWAY PRESSURIZATION NOT REQUIRED.</p> <p>EMERGENCY RESPONDER RADIO COVERAGE SHALL BE PROVIDED IN ALL NEW BUILDINGS IN ACCORDANCE WITH SECTION 510 OF THE IC</p>	<p>1003.2 - CEILING HEIGHT</p> <p>T1004.5 - OCCUPANT LOAD FACTORS</p> <p>1004.2.1 INTERVENING SPACES OR ACCESSORY AREAS</p> <p>1004.7 - OUTDOOR AREAS</p> <p>1004.9 - POSTING OF OCCUPANT LOAD</p> <p>1011.2 WIDTH AND CAPACITY</p> <p>1006.2.1 - SPACES WITH ONE EXIT</p> <p>T1006.3.2 - MINIMUM NUMBER OF EXITS PER STORY</p> <p>1007.1.1 - TWO EXITS OR EXIT ACCESS DOORWAYS</p> <p>1009.1 - ACCESSIBLE MEANS OF EGRESS</p> <p>1009.2.1 - ELEVATORS REQUIRED</p> <p>1009.8 - TWO WAY COMMUNICATION</p> <p>1009.8.1 - SYSTEM REQUIREMENTS</p> <p>1010.1.1 - SIZE OF DOORS</p> <p>1010.1.2.1 - DIRECTION OF SWING</p> <p>1010.1.9 - DOOR OPERATIONS</p> <p>1011.2 EX.1 - STAIRWAY WIDTH AND CAPACITY</p> <p>1011.2.2 ROOF ACCESS</p> <p>1013.1 - EXIT SIGNS</p> <p>T1017.2 - EXIT ACCESS TRAVEL DISTANCE</p> <p>1020.1.1 - HOISTWAY OPENING PROTECTION</p> <p>1020.2 - CORRIDOR WIDTH AND CAPACITY</p> <p>1023.2 - CONSTRUCTION</p> <p>1023.12 - STANDPIPES</p> <p>1028 - EXIT DISCHARGE</p> <p>1028.2 EXIT DISCHARGE</p> <p>CHAPTER 11 - ACCESSIBILITY</p> <p>1101.2.8 (ICC A117.1 SECTION 502.4.2) ACCESS AISLE WIDTH</p> <p>TABLE 1108.2 ACCESSIBLE PARKING SPACES</p> <p>1108.6 VAN SPACES ADA 208.2.4 VAN PARKING SPACES</p> <p>ADA 2010 502.3.4 LOCATION - ACCESS AISLES</p> <p>ADA 2010 502.2 VEHICLE SPACES</p> <p>TABLE 1108.6.2.1.1 TYPE A UNITS</p> <p>1108.6.2.2.2 TYPE B UNITS</p> <p>CHAPTER 14 - EXTERIOR WALLS</p> <p>1406.2.1 COMBUSTIBLE EXTERIOR WALL COVERINGS</p>	<p>7-4" MIN. CEILING HEIGHT FOR MEANS OF EGRESS 6-8" MIN. AT STAIRS</p> <p>ACCESSORY STORAGE/MECH/EQUIP 1/200 GROSS BUSINESS AREAS 1/150 GROSS RESIDENTIAL 1/200 GROSS</p> <p>SEE EGRESS DIAGRAMS FOR OCCUPANT LOADS</p> <p>THE DESIGN OCCUPANT LOAD SHALL BE THE COMBINED OCCUPANT LOAD OF INTERCONNECTED ACCESSORY OR INTERVENING SPACES.</p> <p>THE OCCUPANT LOAD OF SUCH OUTDOOR AREAS SHALL BE ASSIGNED BY THE BUILDING OFFICIAL IN ACCORDANCE WITH THE ANTICIPATED USE.</p> <p>ROOMS AND SPACES WITH AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD POSTED IN A CONSPICUOUS PLACE</p> <p>MIN. 44" STAIRWAY WIDTH REQUIRED</p> <p>EXCEPTION 1. STAIRWAYS SERVING AN OCCUPANT LOAD OF LESS THAN 50 SHALL HAVE A WIDTH OF NOT LESS THAN 36 INCHES</p> <p>L-2 OCCUPANT LOADS < 90 - 36" WIDE STAIR WAY PROVIDED</p> <p>R-2 OCCUPANCY: MAX OCC. = 20 MAX COMMON PATH W/ SPRINKLER = 125' B OCCUPANCY: MAX OCC. = 49 COMMON PATH W/ SPRINKLER = 100' S-2 OCCUPANCY: MAX OCC. = 29 MAX COMMON PATH W/ SPRINKLER = 100'</p> <p>ALL STORIES REQUIRE 2 EXITS 1-500 OCCUPANTS = 2 EXITS REQUIRED - 2 EXITS PROVIDED</p> <p>EX. 1 - MINIMUM 1-HOUR RATED CORRIDOR PROVIDED THROUGHOUT THE BUILDING. SHORTEST DIRECT LINE OF TRAVEL WITHIN THE CORRIDOR WILL BE USED</p> <p>EX. 2 - AUTOMATIC SPRINKLER SYSTEM PROVIDED. SEPARATION DISTANCE SHALL BE 1/3 THE MAXIMUM OVERALL DIAGONAL.</p> <p>ACCESSIBLE SPACES SHALL BE PROVIDED WITH NOT LESS THAN ONE ACCESSIBLE MEANS OF EGRESS</p> <p>TWO EXITS ARE REQUIRED. TWO ACCESSIBLE MEANS OF EGRESS ARE PROVIDED AS STAIR ENCLOSURE STAIR 1 AND STAIR 2</p> <p>BUILDING IS 4 STORIES - AN ACCESSIBLE ELEVATOR WITH TANDBY POWER COMPLYING WITH IBC 1009.4 IS PROVIDED</p> <p>A TWO-WAY COMMUNICATION SYSTEM COMPLYING WITH SECTIONS 1009.8.1 AND 1009.8.2 SHALL BE PROVIDED AT THE LANDING SERVING THE ELEVATOR ON EACH ACCESSIBLE FLOOR THAT IS ONE OR MORE STORIES ABOVE OR BELOW THE LEVEL OF EXIT DISCHARGE.</p> <p>A TWO-WAY COMMUNICATION SYSTEM SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 1009.8.1, AND INCLUDE A 90 MINUTE BATTERY BACKUP.</p> <p>AS REQUIRED FOR OCCUPANT LOAD AND NO LESS THAN 32" CLEAR IN THE 90 DEGREE POSITION. MIN. CLEAR DOOR HEIGHT 80"</p> <p>SWINGING DOORS SHALL SWING IN THE DIRECTION OF EGRESS WHERE SERVING A ROOM OR AREA WITH AN OCCUPANT LOAD OF 50 OR MORE</p> <p>EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT</p> <p>STAIRWAYS SERVING AN OCCUPANT LOAD OF LESS THAN 50 SHALL HAVE A WIDTH OF NOT LESS THAN 36". 36" WIDE STAIRS PROVIDED.</p> <p>ACCESS TO THE ROOF SHALL BE PERMITTED TO BE A ROOF HATCH OR TRAP DOOR NOT LESS THAN 16 SQUARE FEET IN AREA AND HAVING A MINIMUM DIMENSION OF 2 FEET 6 INCHES.</p> <p>REQUIRED EXCEPT IN ROOMS THAT ONLY REQUIRE ONE EXIT ACCESS</p> <p>MAXIMUM TRAVEL DISTANCE WITH AUTOMATIC FIRE SPRINKLER SYSTEM FOR GROUP R-2 = 250' MAX FOR GROUP B = 300' MAX FOR GROUP S-2 = 400' MAX</p> <p>ELEVATOR HOISTWAY OPENINGS SHALL BE PROTECTED IN ACCORDANCE WITH SECTION 3006.2.1.</p> <p>GENERAL OCCUPANCIES - 44" MIN. ACCESS TO & UTILIZATION OF MEP SYSTEMS OR EQUIPMENT - 24" MIN. OCCUPANT LOAD LESS THAN 50 - 36" MIN. 69" WIDE CORRIDORS PROVIDED AT RESIDENTIAL LEVELS.</p> <p>ENCLOSURES FOR INTERIOR EXIT STAIRWAYS AND RAMPS SHALL BE CONSTRUCTED AS FIRE BARRIERS IN ACCORDANCE WITH SECTION 707. ENCLOSURES SHALL HAVE A FIRE-RESISTANCE RATING OF LESS THAN 2 HOURS WHERE CONNECTING FOUR STORIES OR MORE. (CONTINUOUS 2-HR RATED ENCLOSURES PROVIDED, COMPLIES.)</p> <p>STANDPIPES SHALL BE PROVIDED WHERE REQUIRED BY 905.3 AND 905.4</p> <p>THE EXIT DISCHARGE SHALL OPEN DIRECTLY TO THE EXTERIOR OF THE BUILDING AND PROVIDE A DIRECT ROUTE TO A PUBLIC RIGHT OF WAY.</p> <p>EXCEPTION 2: NOT MORE THAN 50 PERCENT OF THE NUMBER AND MINIMUM WIDTH OR REQUIRED CAPACITY OF THE INTERIOR EXIT STAIRWAYS AND RAMPS IS PERMITTED TO EGRESS THROUGH A VESTIBULE PROVIDED THAT ALL OF THE FOLLOWING CONDITIONS ARE MET: 1. THE ENTIRE AREA OF THE VESTIBULE IS SEPARATED FROM AREAS BELOW BY CONSTRUCTION CONFORMING TO THE FIRE-RESISTANCE RATING OF THE INTERIOR EXIT STAIRWAY OR RAMP ENCLOSURE. 2. THE DEPTH FROM THE EXTERIOR OF THE BUILDING IS NOT GREATER THAN 10 FEET AND THE LENGTH IS NOT GREATER THAN 30 FEET. 3. THE AREA IS SEPARATED FROM THE REMAINDER OF THE LEVEL OF EXIT DISCHARGE BY A FIRE PARTITION CONSTRUCTED IN ACCORDANCE WITH SECTION 708. 4. THE AREA IS USED ONLY FOR MEANS OF EGRESS AND EXITS DIRECTLY TO THE OUTSIDE.</p>	<p>705.11 - PARAPETS</p> <p>705.11.1 - PARAPET CONSTRUCTION</p> <p>TABLE 1505.1 - FIRE CLASSIFICATION</p> <p>1507.10.1 - ROOF SLOPE</p> <p>15.10.2.1 - HEIGHT ABOVE ROOF DECK</p> <p>1510.2.2 - USE LIMITATIONS</p> <p>1510.6 - MECHANICAL EQUIPMENT SCREEN HEIGHT LIMITATION</p> <p>CHAPTER 27 - ELECTRICAL</p> <p>2702 - EMERGENCY AND STANDBY POWER SYSTEMS</p> <p>2702.2.3 - EMERGENCY RESPONDER RADIO COVERAGE SYSTEMS</p>																																					

BUILDING AREA (IBC)	
LEVEL	AREA
LEVEL 1	4,588 SF
LEVEL 2	4,163 SF
LEVEL 3	4,178 SF
LEVEL 4	17,053 SF



REGISTRATION:

LICENSED ARCHITECT AP
NOT FOR CONSTRUCTION
 Emily D. Buchwalter
 STATE OF IDAHO

INTAKE DATE: 2/20/2025

REVISIONS:	DATE:

PROJECT / CLIENT:

2900 78TH AVE SE

2900 Development LLC

JOB ADDRESS:

2900 78TH AVE SE
 MERCER ISLAND, 98040

DRAWING NAME:

BUILDING USE AND EGRESS

Drawn By: KH

Checked By: ST

Owner Approval:

PHASE:

BUILDING STUDY SESSION PLAN SET

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APPROVED FOR CONSTRUCTION:

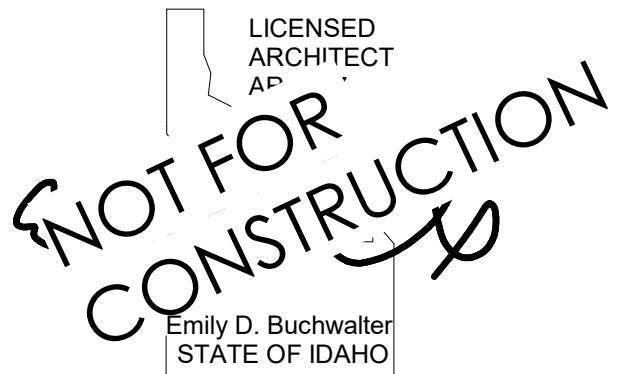
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DATE: 2/20/2025

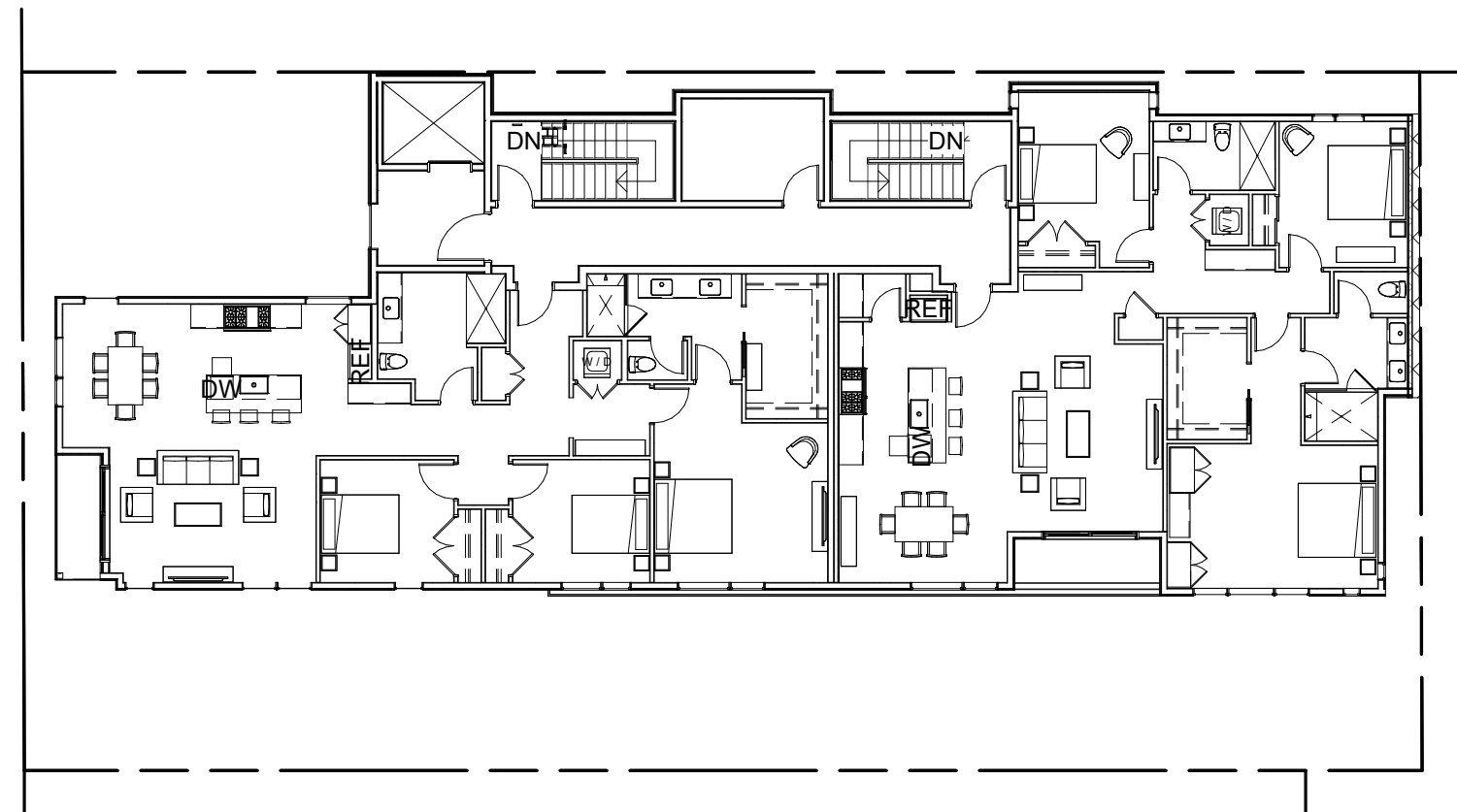
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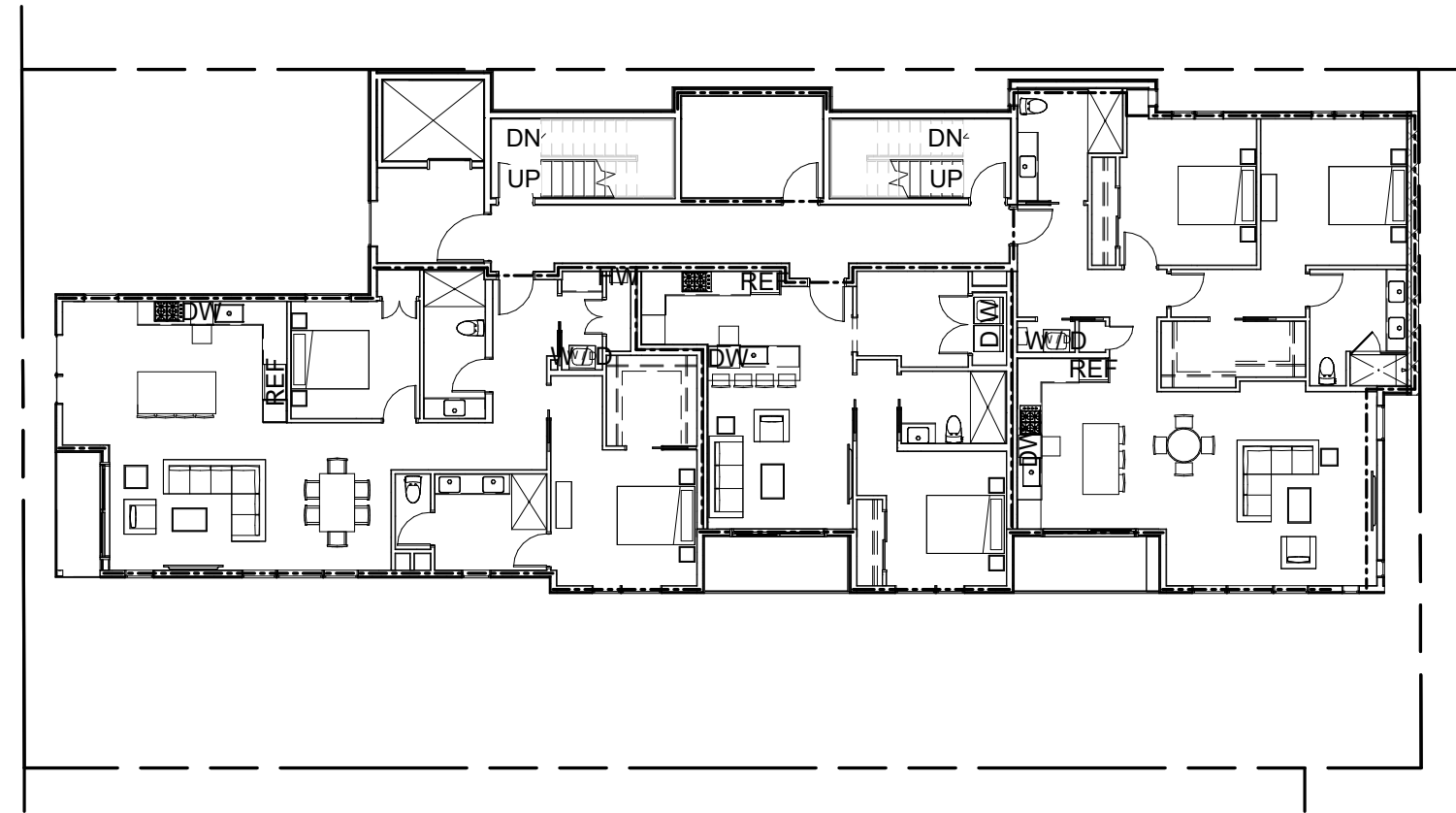
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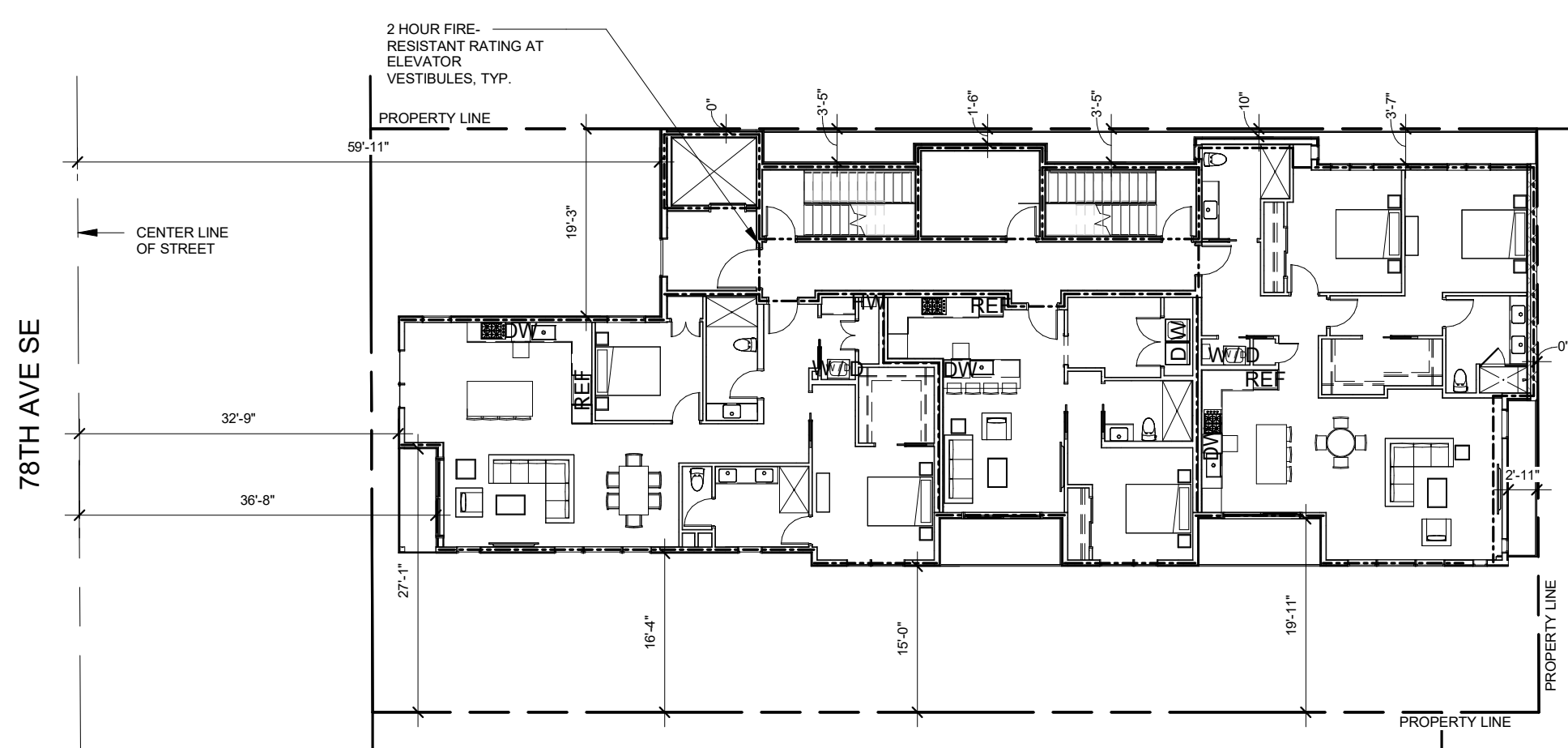
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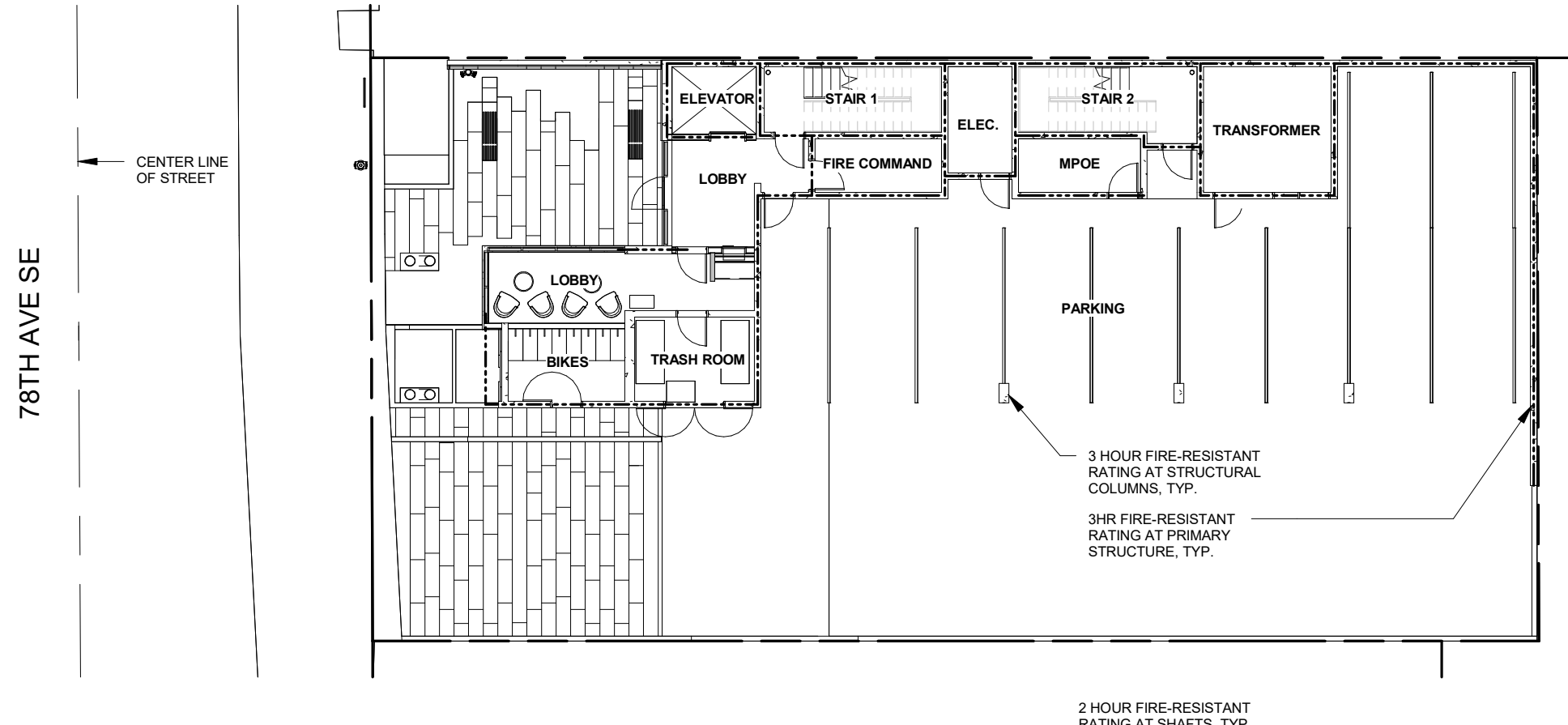
6 FIRE RATING DIAGRAM - LEVEL 4
 1/16" = 1'-0"



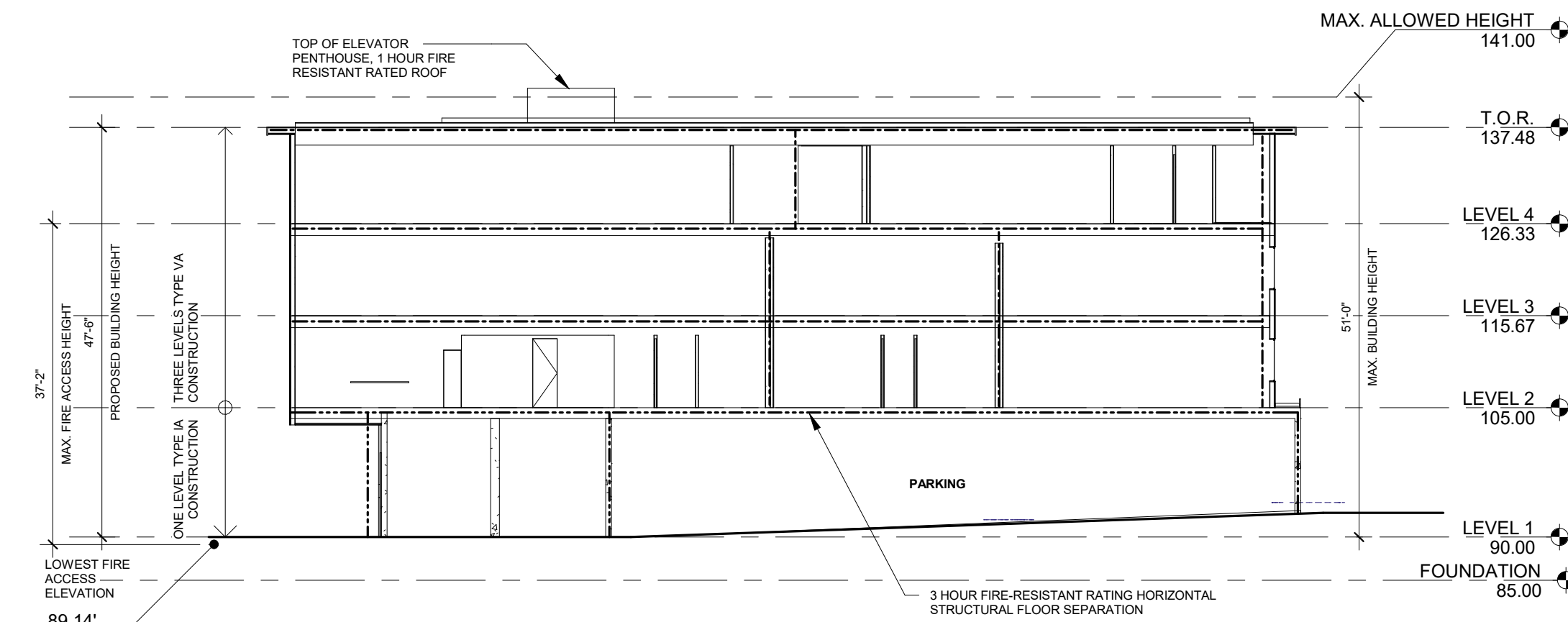
5 FIRE RATING DIAGRAM - LEVEL 3
 1/16" = 1'-0"



4 FIRE RATING DIAGRAM - LEVEL 2
 1/16" = 1'-0"



3 FIRE RATING DIAGRAM - LEVEL 1
 1/16" = 1'-0"



2 FIRE RATING SECTION
 1/16" = 1'-0"

OPENINGS

IBC 705.8
 MAXIMUM AREA OF EXTERIOR WALL OPENING
 3'-0" - 5'-0" UNPROTECTED, SPRINKLERED 15%
 5'-0" - 10'-0" UNPROTECTED, SPRINKLERED 25%
 10'-0" - 15'-0" UNPROTECTED, SPRINKLERED 45%
 15'-0" - 20'-0" UNPROTECTED, SPRINKLERED 75%
 20'-0" UNPROTECTED, SPRINKLERED NO LIMIT

ALLOWABLE AREA OF OPENING

IBC 705.8.1

THE MAXIMUM AREA OF UNPROTECTED AND PROTECTED OPENINGS PERMITTED IN AN EXTERIOR WALL ON ANY STORY OF A BUILDING SHALL NOT EXCEED THE PERCENTAGES SPECIFIED IN TABLE 705.8 BASED ON THE FIRE SEPARATION DISTANCE OF EACH INDIVIDUAL STORY.

EXCEPTIONS:
 1. IN OTHER THAN GROUP H OCCUPANCIES, UNLIMITED UNPROTECTED OPENINGS ARE PERMITTED IN THE FIRST STORY ABOVE GRADE PLANE WHERE THE WALL FACES ONE OF THE FOLLOWING:
 1.1 A STREET AND HAS A FIRE SEPARATION DISTANCE OF MORE THAN 15 FEET.
 1.2 AN UNOCCUPIED SPACE. THE UNOCCUPIED SPACE SHALL BE ON THE SAME LOT OR DEDICATED FOR THE PUBLIC USE, SHALL BE NOT LESS THAN 30 FEET IN WIDTH AND SHALL HAVE ACCESS FROM A STREET BY A POSTED FIRE LANE IN ACCORDANCE WITH THE INTERNATIONAL FIRE CODE.

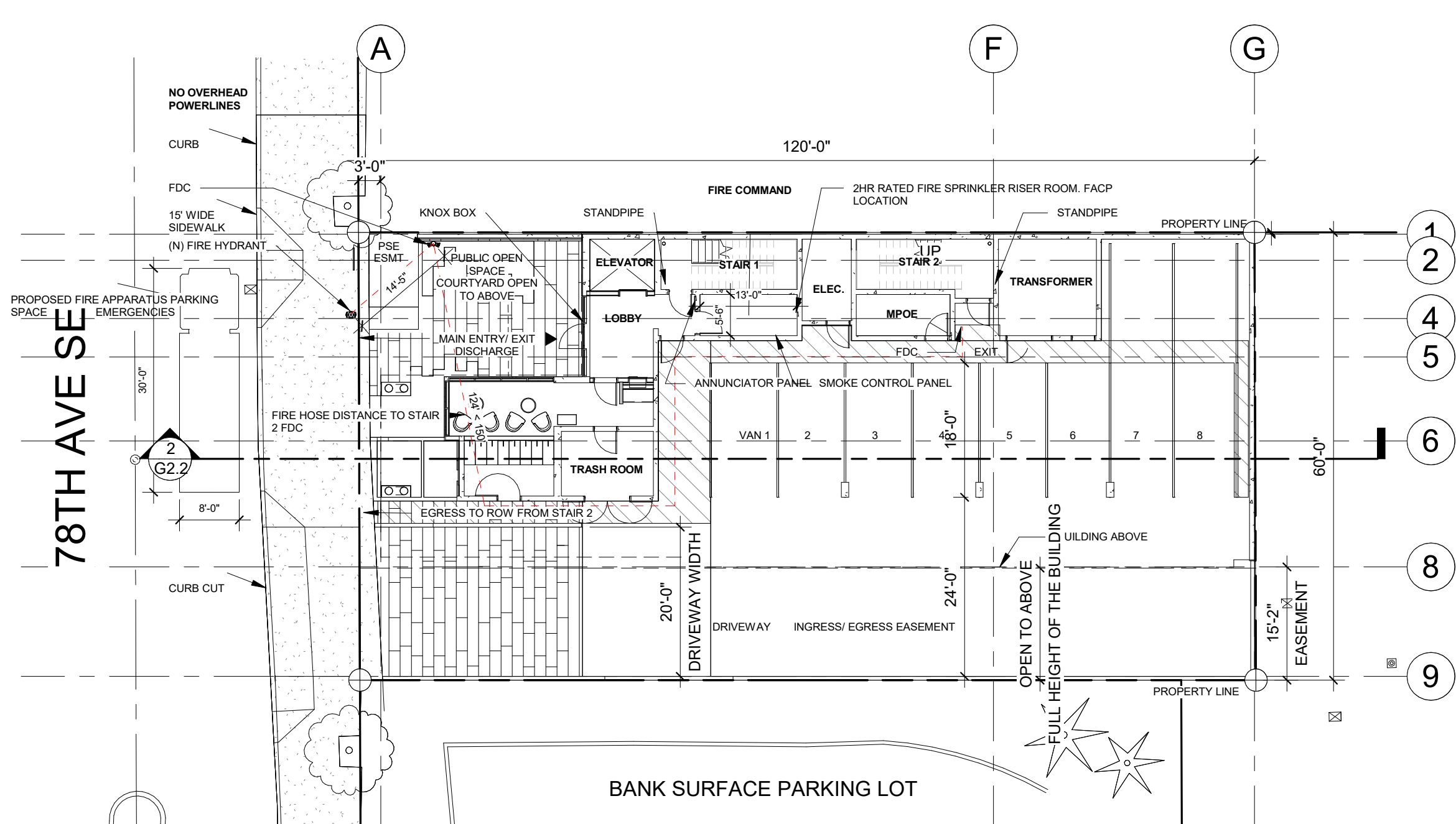
2. BUILDINGS WHOSE EXTERIOR BEARING WALLS, EXTERIOR NONBEARING WALLS AND EXTERIOR PRIMARY STRUCTURAL FRAME ARE NOT REQUIRED TO BE FIRE-RESISTANCE RATED SHALL BE PERMITTED TO HAVE UNLIMITED UNPROTECTED OPENINGS.

FIRE SEPARATION LEGEND

- 1-HOUR FIRE SEPARATION - - - - -
- 2-HOUR FIRE SEPARATION - - - - -
- 3-HOUR FIRE SEPARATION - - - - -

FIRE RESISTANCE RATINGS

TABLE 601 - BUILDING ELEMENTS	TYPE IA CONSTRUCTION	TYPE VA CONSTRUCTION
STRUCTURAL FRAME (COLUMNS, GIRDERS & TRUSSES)	3 HOURS	1 HOUR
EXTERIOR BEARING WALLS	3 HOURS	1 HOUR W/ AUTOMATIC SPRINKLER SYSTEM
INTERIOR BEARING WALLS	3 HOURS	1 HOUR
INTERIOR NON-BEARING PARTITIONS	0	0
FLOOR CONSTRUCTION (INCL. BEAMS & JOISTS)	2 HOURS	1 HOUR
ROOF CONSTRUCTION (INCL. BEAMS & JOISTS)	1-1/2 HOURS	1 HOURS



- PROPOSED BUILDING**
- 51' - 4 STORIES - NON-HIGHRISE
 - 8 UNITS
 - 3 LEVELS TYPE VA OVER 1 LEVELS TYPE IA CONSTRUCTION
 - NFPA 13 FULLY SPRINKLERED SYSTEM ALL LEVELS PROVIDED
 - COMBINATION STANDPIPE AT EACH STAIR
- PARKING**
- 1 LEVELS OF TYPE IA CONSTRUCTION - NON-HIGHRISE
 - NON-COMBUSTIBLE CONCRETE CONSTRUCTION
- GENERAL**
- 2ND FIRE APPARATUS ACCESS ROAD NOT REQUIRED FOR BUILDINGS WITH UP TO 200 UNITS, PER IFC D106.1. 1 APPARATUS ACCESS ROAD PROVIDED ON 78TH AVE SE
 - ALL FIRE TRUCK ACCESS LESS THAN 10% GRADIENT
 - (1) NEW HYDRANT AT NORTH WEST CORNER OF PROPERTY
 - 2 HR RATED STAIR SHAFTS, TYPICAL
 - GURNEY COMPATIBLE ELEVATOR
 - NO POWERLINES ADJACENT TO SITE ALONG 78TH AVE SE
 - FLAT / WIDE R.O.W. FRONTAGE

- FIRE FLOW REQUIREMENTS**
- FIRE FLOW REQUIREMENTS: BASED ON TOTAL SQ FT OF TYPE VA CONSTRUCTION, APPENDIX B OF IFC. 50% REDUCTION FOR SPRINKLER SYSTEM.
 - 12,000 SF TYPE VA CONSTRUCTION
 - IFC APPENDIX B T105. 2,000 GPM X .5 = 1,000 GPM REQUIRED FIRE FLOW
 - 2HR DURATION

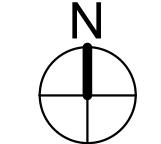
- RISER / FIRE CONTROL ROOM**
- 2 HR ROOM RATING
 - EQUIPPED WITH FIRE PROTECTION EQUIPMENT IN RISER ROOM.

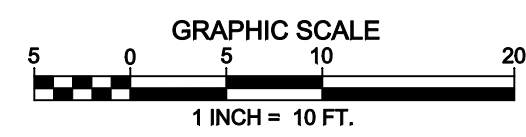
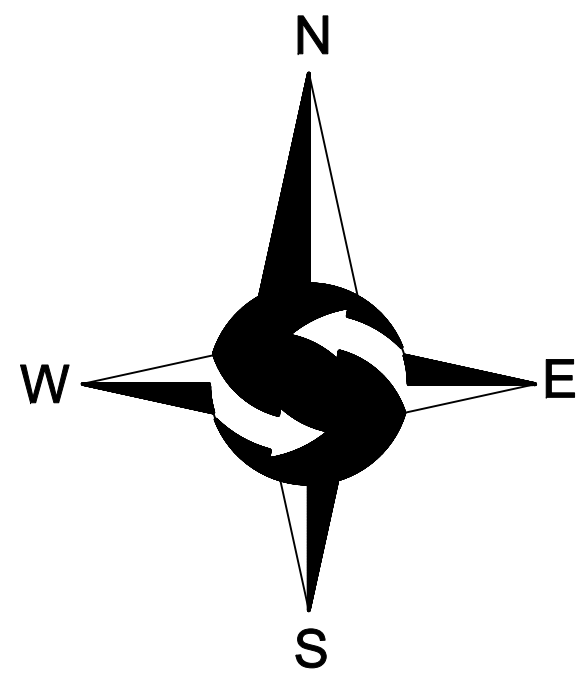
- FIRE ALARM REQUIREMENTS**
- NFPA 72 FIRE ALARM REQUIRED: FACP INSTALLED IN RISER ROOM AND ANNUNCIATOR IN MAIN LOBBY.
 - CORRIDOR SMOKE DETECTION PROVIDED.

- STAIRWELL PRESSURIZATION REQUIREMENTS**
- CONCEPTUAL ANALYSIS REQUIRED AT BUILDING PERMIT SUBMITTAL.
 - DETAILED DESIGN REQUIRED WITH SMOKE CONTROL PERMIT SUBMITTAL.

- EMERGENCY RESPONDER RADIO COVERAGE**
- DMS SYSTEM EMERGENCY RESPONDER RADIO SIGNAL STRENGTH 95DBS IN 95% OF EACH FLOOR OF THE BUILDING AND 99% IN ELEVATORS.
 - HEAD END EQUIPMENT REQUIRES 2 HR FIRE PROTECTION.

1 FIRE PROTECTION PLAN
 1/16" = 1'-0"





LEGEND

	FOUND MONUMENT AS DESCRIBED		CONCRETE WALL
	FOUND MAG & WASHER		LIGHT POLE
	POWER METER		GAS VALVE
	SANITARY SEWER CLEANOUT		CATCH BASIN
	SANITARY SEWER MANHOLE		CATCH BASIN SOLID LID
	WATER VALVE		ELECTRICAL VAULT
	FIRE HYDRANT		POWER JUNCTION BOX
	WATER METER		ASPHALT SURFACE
	SIGN		CONCRETE SURFACE
	APPROXIMATE LOCATION SANITARY SEWER LINE		DECIDUOUS
	APPROXIMATE LOCATION STORM DRAIN LINE		PINE
	APPROXIMATE LOCATION UNDERGROUND GAS LINE		
	APPROXIMATE LOCATION UNDERGROUND WATER LINE		
	APPROXIMATE LOCATION UNDERGROUND POWER LINE		
	APPROXIMATE LOCATION UNDERGROUND TELEPHONE LINE		

LEGAL DESCRIPTION

THE WEST 120 FEET OF THE NORTH HALF OF LOT 4, BLOCK 14, MCGILLVRA'S ISLAND ADDITION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 16 OF PLATS, PAGE 58, RECORDS OF KING COUNTY, WASHINGTON;

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARINGS

RECORD OF SURVEY BY PACE FOR GENCOR S. - NORTHGATE L.P., AS RECORDED UNDER RECORDING NUMBER 199801239001, RECORDS OF KING COUNTY, WASHINGTON.

PROJECT INFORMATION

SURVEYOR:	SITE SURVEYING, INC. 21923 NE 11TH ST SAMMAMISH, WA 98074 PHONE: 425.298.4412
PROPERTY OWNER:	2900 DEVELOPMENT LLC 3010 77TH AVENUE SE, SUITE 108 MERCER ISLAND, WA 98040
TAX PARCEL NUMBER:	531510-1219
PROJECT ADDRESS:	2900 78TH AVENUE SE MERCER ISLAND, WA 98040
ZONING:	TC
JURISDICTION:	CITY OF MERCER ISLAND
PARCEL ACREAGE:	7,200 SF (0.165 ACRES) AS SURVEYED

GENERAL NOTES

- THIS SURVEY WAS COMPLETED WITHOUT BENEFIT OF A CURRENT TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST ON THIS PROPERTY THAT ARE NOT SHOWN HEREON.
- INSTRUMENTATION FOR THIS SURVEY WAS A 3-SECOND SPECTRAPRECISION FOCUS 35 TOTAL STATION. PROCEDURES USED IN THIS SURVEY MEET OR EXCEED STANDARDS SET BY WAC 332-130-090.
- THE INFORMATION ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE IN FEBRUARY 2021 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.
- UTILITIES SHOWN ON THIS SURVEY ARE BASED UPON ABOVE GROUND OBSERVATIONS AND AS-BUILT PLANS WHERE AVAILABLE. ACTUAL LOCATIONS OF UNDERGROUND UTILITIES MAY VARY AND UTILITIES NOT SHOWN ON THIS SURVEY MAY EXIST ON THIS SITE.
- ALL MONUMENTS WERE LOCATED DURING THIS SURVEY UNLESS OTHERWISE NOTED.

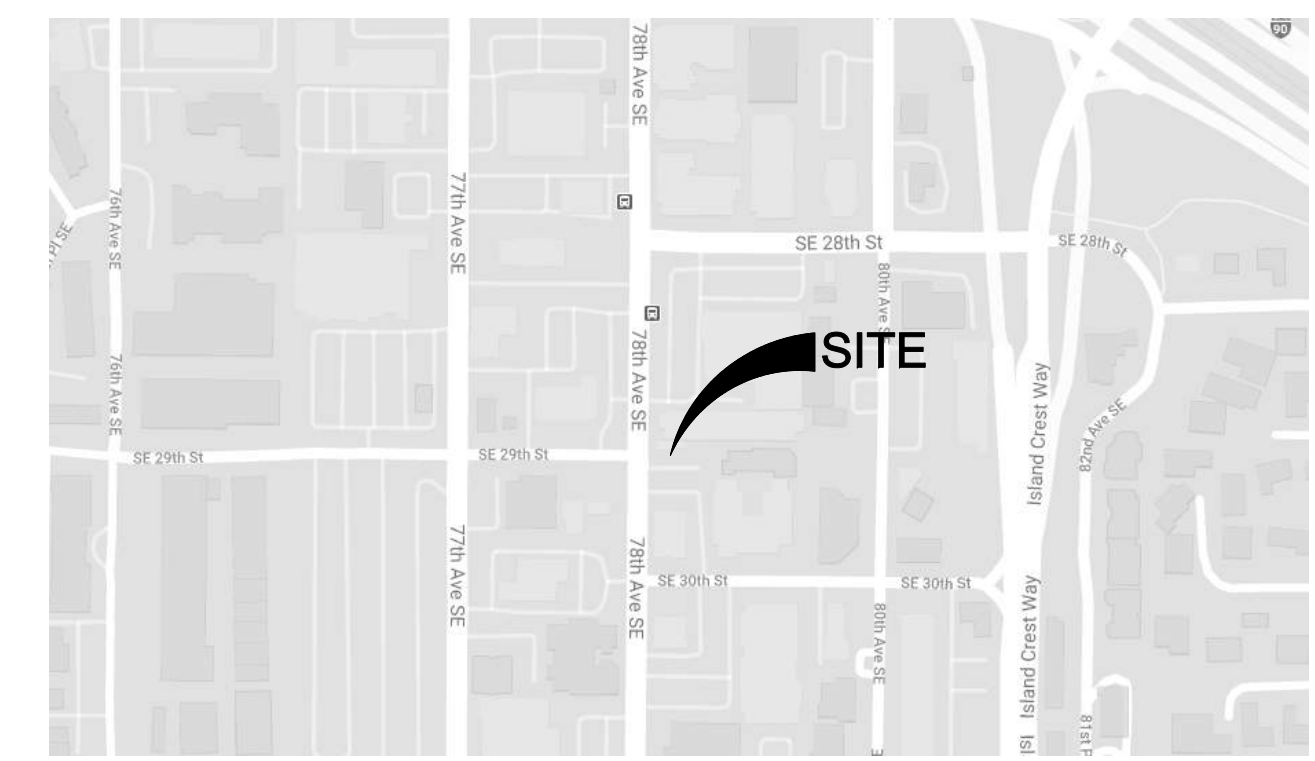
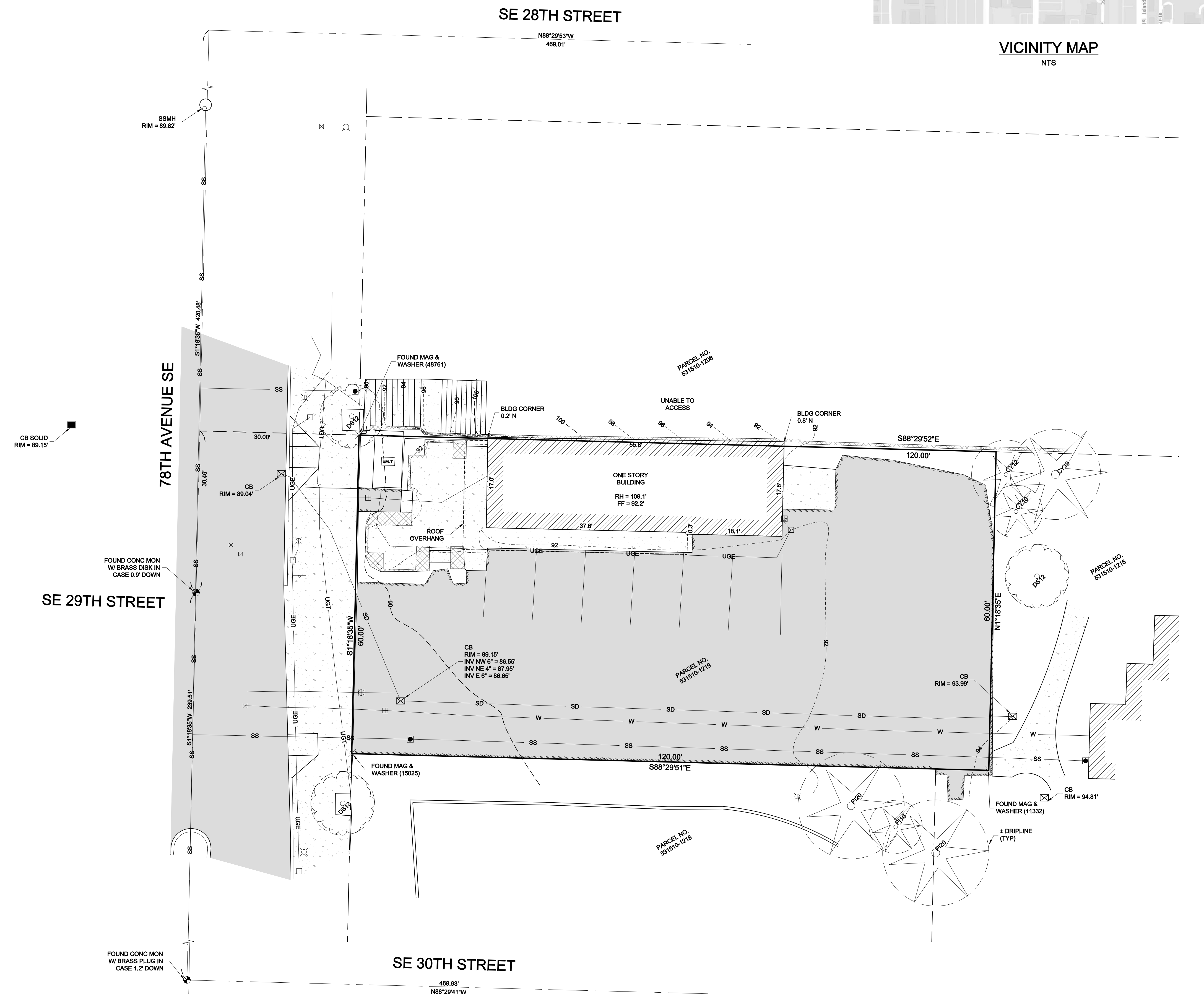
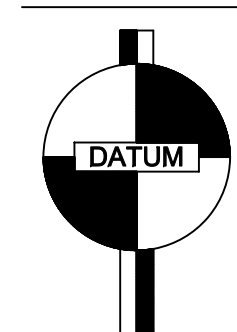
VERTICAL DATUM & CONTOUR INTERVAL

ELEVATIONS SHOWN ON THIS DRAWING WERE DERIVED FROM INFORMATION PROVIDED BY WCCS SURVEY CONTROL DATABASE.

THE MARK IS A BRASS CAP STAMPED "LS 23613 1995" SET IN MONUMENT CASE AT THE INTERSECTION OF SE 29TH STREET AND 78TH AVENUE SE.

POINT ID NO. 9110;
ELEVATION: 88.424 FEET (26.952 METERS) NAVD 88

2.0' CONTOUR INTERVAL - THE EXPECTED VERTICAL ACCURACY IS EQUAL TO 1/2 THE CONTOUR INTERVAL OR PLUS / MINUS 0.5' FOR THIS PROJECT.



VICINITY MAP
NTS

SW 1/4, NE 1/4, SEC 12, TWP 24N, RNG 4E, W.M.

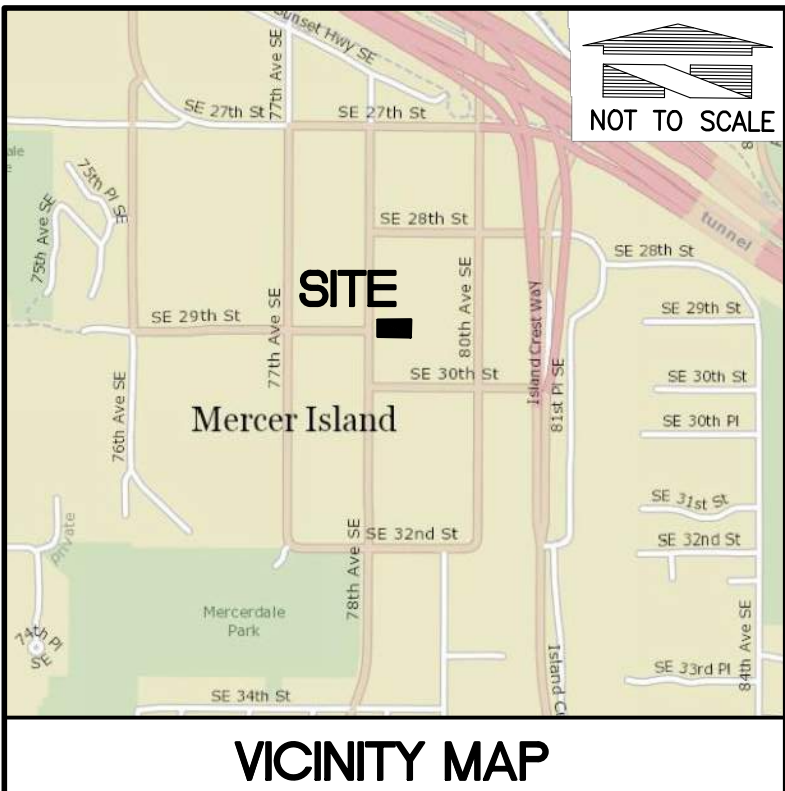
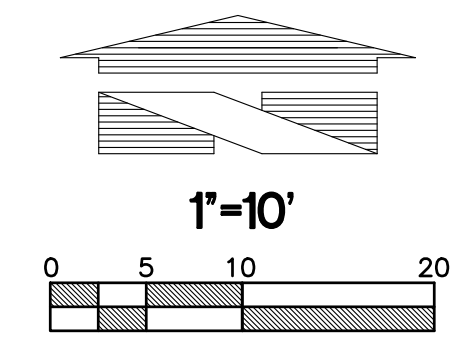


DATE	REVISION	DRN
3/3/23	TREES & DRIP LINES ADDED	TNW

TOPOGRAPHIC SURVEY
JASON IMANI
2900 78TH AVENUE SE
MERCER ISLAND, WA 98040

PROJECT NO. 21-075
DRAWN BY: MTS
CHECKED BY: TNW
DATE: 3/3/23
SHEET 1 OF 1

2900 DEVELOPMENT COVER SHEET



- GENERAL SITE DEVELOPMENT NOTES:**
- THE CONTRACTOR SHALL OBTAIN AND HAVE AVAILABLE COPIES OF THE APPLICABLE GOVERNING AGENCY STANDARDS AT THE JOB SITE DURING THE RELATED CONSTRUCTION OPERATIONS.
 - CONTRACTOR SHALL ASSURE THAT ALL NECESSARY PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCING WORK.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION WHETHER SHOWN ON THESE PLANS OR NOT. UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION VISIBLE AT GROUND SURFACE OR SHOWN ON RECORD DRAWING PROVIDED BY OTHERS ARE SHOWN HEREON. EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY AND ARE SUBJECT TO A DEGREE OF UNKNOWN VARIATION. SOME UNDERGROUND LOCATIONS SHOWN HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. TEBALDI ENGINEERING, LLC ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS OR RECORDS OF OTHERS. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT TEBALDI ENGINEERING, LLC, TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE APPROPRIATE UTILITIES INVOLVED PRIOR TO CONSTRUCTION.
 - INSPECTION OF SITE WORK WILL BE ACCOMPLISHED BY A REPRESENTATIVE OF THE AUTHORITY HAVING JURISDICTION. INSPECTION OF PRIVATE FACILITIES WILL BE ACCOMPLISHED BY A REPRESENTATIVE OF THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE INSPECTOR OF THE AUTHORITY HAVING JURISDICTION 24 HOURS IN ADVANCE OF BACKFILLING ALL CONSTRUCTION OR AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
 - PRIOR TO ANY CONSTRUCTION OR DEVELOPMENT ACTIVITY THE CONTRACTOR SHALL CONTACT THE AGENCY AND/OR UTILITY INSPECTION PERSONNEL AND ARRANGE ANY REQUIRED PRE-CONSTRUCTION MEETING(S). CONTRACTOR SHALL PROVIDE 72 HRS MIN. ADVANCE NOTIFICATION TO OWNER, FIELD ENGINEER AND ENGINEER OF PRE-CONSTRUCTION MEETINGS.
 - THE CONTRACTOR IS RESPONSIBLE FOR WORKER AND SITE SAFETY AND SHALL COMPLY WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACTOR. ANY WORK WITHIN THE TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW SHALL REQUIRE AT LEAST ONE FLAGGER FOR EACH LANE OF TRAFFIC AFFECTED.
 - PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ALL ADJACENT PUBLIC AND PRIVATE PROPERTIES AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING UTILITY SERVICES THAT ARE TO REMAIN OPERATIONAL WITHIN THE CONSTRUCTION AREA WHETHER SHOWN OR NOT SHOWN ON THE PLANS.
 - STRUCTURAL BMPs MUST BE ACCESSIBLE FOR INSPECTION BY THE AUTHORITY HAVING JURISDICTION DURING REGULAR BUSINESS HOURS.
 - TWO (2) COPIES OF THESE APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS. ONE (1) SET WITH RECORDS OF AS-BUILT INFORMATION SHALL BE SUBMITTED TO TEBALDI ENGINEERING, LLC AT COMPLETION OF PROJECT.

- SOILS REPORT NOTES:**
- THE FOLLOWING SOILS REPORT FOR THE SITE SHALL BE CONSIDERED PART OF THESE CONSTRUCTION DOCUMENTS:
 GEOTECHNICAL ENGINEERING REPORT PREPARED BY COBALT GEOSCIENCES DATED DECEMBER 16, 2021.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL PROVISIONS OF THE SOILS REPORT FOR THE SITE BE OBSERVED AND COMPLIED WITH DURING ALL PHASES OF CONSTRUCTION.
 - ANY PROVISIONS OF THE SOILS REPORT WHICH CONFLICT WITH INFORMATION SHOWN ON THESE DRAWINGS, OR WHICH REQUIRE FURTHER CLARIFICATION, SHALL BE BROUGHT TO THE ATTENTION OF TEBALDI ENGINEERING, LLC.
 - A REPRESENTATIVE OF THE SOILS ENGINEER SHALL BE AVAILABLE TO OBSERVE AND APPROVE THE EARTHWORK OPERATIONS AND TO VERIFY FIELD CONDITIONS AS WORK PROCEEDS.

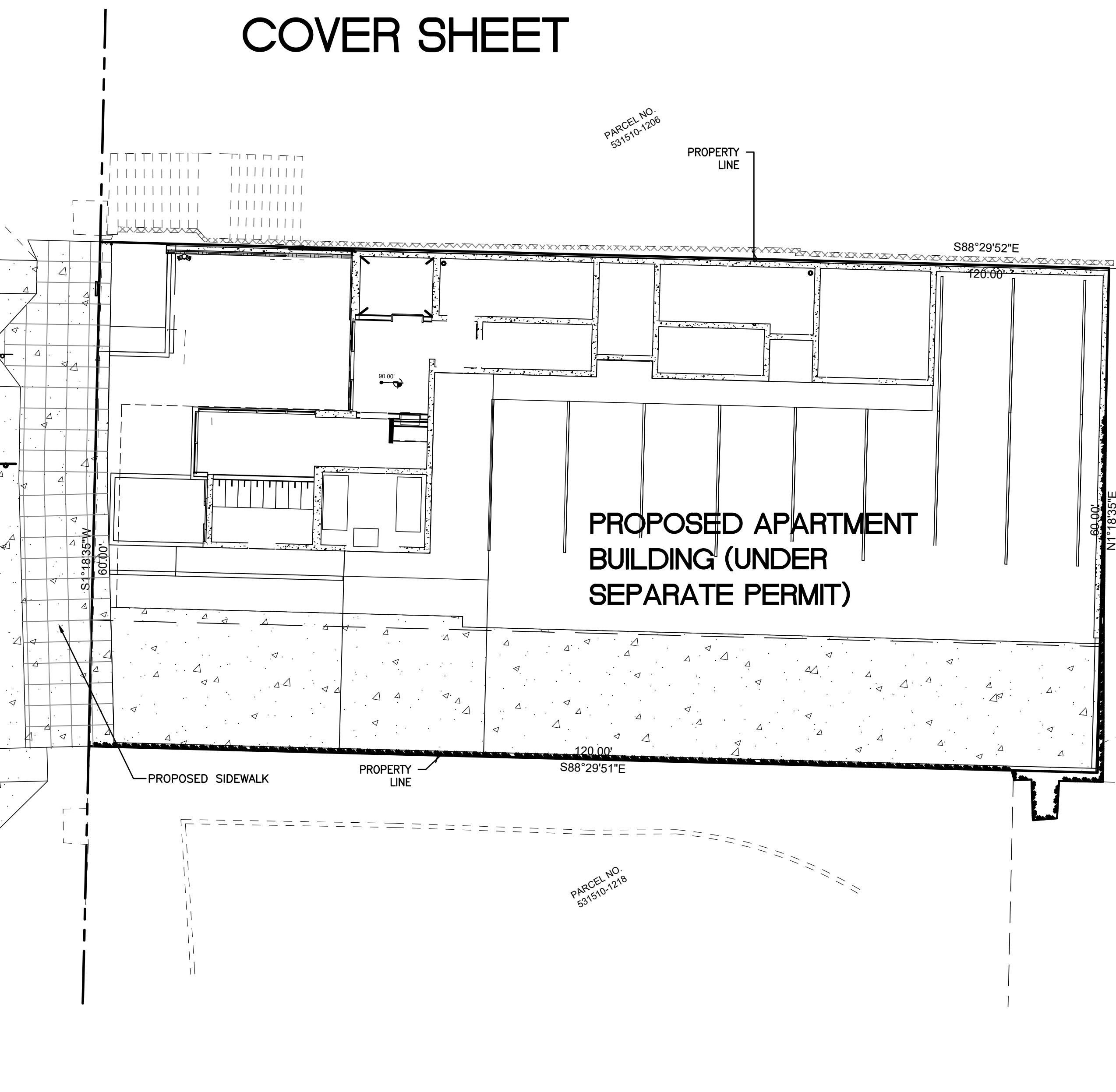
BASIS OF BEARING:
 BASIS OF BEARINGS: N 01°19'57" E
 ALONG THE CENTERLINE OF 32nd AVE S
 BASED ON THE GPS OBSERVATION OF EXISTING MONUMENTS AND TIES TO MONUMENTS.
 SEE RECORD OF SURVEY UNDER REC. NO. 20160728900015.

BENCHMARK:
 VERTICAL DATUM: NAVD88



LEGAL DESCRIPTION:
 PER QUIT CLAIM DEED RECORDED UNDER AUDITOR'S FILE NUMBER 20160615000759, RECORDS OF KING COUNTY, WASHINGTON.
 NORTH 15 FEET OF LOT 10 AND ALL OF LOT 11, TURNER BELL ADDITION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 40 OF PLATS, PAGE 19, RECORDS OF KING COUNTY, WASHINGTON.

EXISTING TOPOGRAPHY/SURVEY INFORMATION NOTE:
 THESE DRAWINGS HAVE BEEN PREPARED BASED ON TOPOGRAPHIC SURVEY PREPARED BY 4SITE SURVEYING.
 TEBALDI ENGINEERING, LLC DOES NOT WARRANT THAT THE TOPOGRAPHY SHOWN ON THESE DRAWINGS IS REPRESENTATIVE OF WHAT IS CONSTRUCTED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE OWNER TO HAVE ALL IMPROVEMENTS FIELD VERIFIED PRIOR TO CONSTRUCTION. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO WORK.



SITE DATA:

ADDRESS: 2900 78TH AVENUE SE
MERCER ISLAND, WA 98040

APN: 5315101219

PROPERTY AREA: 7,200 S.F. (0.17 AC)

DISTURBED AREA: 11,068 S.F. (0.25 AC)

IMPERVIOUS AREA:

ROOF	4,629 SF
ON-SITE PAVEMENT	2,309 SF
TOTAL	6,938 SF

PERVIOUS AREA: TOTAL - 262 S.F.

EST. EARTHWORK QUANTITIES:

CUT:	200 CY
FILL:	200 CY
CUT/FILL BALANCE:	200 CY
NET IMPORT/EXPORT:	0 CY

EARTHWORK QUANTITIES ARE APPROXIMATE. CONTRACTOR TO VERIFY EARTHWORK QUANTITIES PRIOR TO CONSTRUCTION.

UTILITIES:

WATER:
 CITY OF MERCER ISLAND
 9611 SE 36TH STREET
 MERCER ISLAND, WA 98040
 PHONE: (206) 275-7600

SEWER:
 CITY OF MERCER ISLAND
 9611 SE 36TH STREET
 MERCER ISLAND, WA 98040
 PHONE: (206) 275-7600

CABLE:
 XFINITY
 PHONE (800) 266-2278

POWER:
 PUGET SOUND ENERGY
 PHONE (888) 321-7779

GAS:
 PUGET SOUND ENERGY
 PHONE (888) 321-7779

TELEPHONE:
 CENTURYLINK
 PHONE (866) 415-2950

PROJECT TEAM:

ARCHITECT:
 MEDICI ARCHITECTS
 11711 SE 8TH STREET, SUITE 100
 BELLEVUE, WA 98005

ENGINEER:
 TEBALDI ENGINEERING, LLC
 P.O. BOX 121
 SUMNER, WA 98390
 PHONE: (206) 450-5096
 EMAIL: CHRIS@TEBALDIENGINEERING.COM
 CONTACT: CHRIS TEBALDI, P.E.

SURVEYOR:
 SITE SURVEYING, INC
 21923 NE 11TH ST
 SAMMAMISH, WA 98074

GEOTECHNICAL ENGINEER:
 GEOTECH CONSULTANTS, INC.
 2401 10TH AVE E
 SEATTLE, WA 98102

OWNER:
 2900 DEVELOPMENT LLC
 2900 78TH AVE SE
 MERCER ISLAND, WA 98040

CIVIL SHEET INDEX:

- C1 COVER SHEET
- C2 TESC PLAN
- C3 CIVIL SITE PLAN
- C4 GRADING AND STORM DRAINAGE PLAN
- C5 WATER AND SANITARY SEWER PLAN
- C6 NOTES AND DETAILS
- C7 NOTES AND DETAILS TOPOGRAPHIC SURVEY

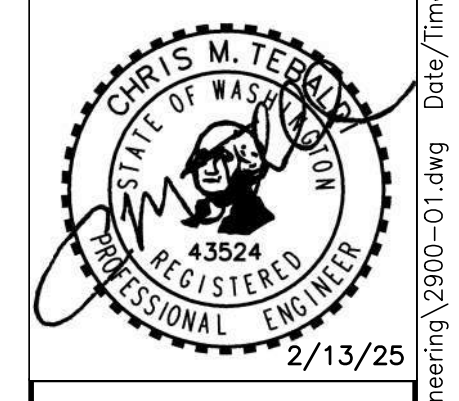
CONTRACTOR SHALL HAVE ALL PROPERTY LINES, CURB, SIDEWALK, STRUCTURES, CONCRETE PADS AND ANY OTHER ABOVE GROUND PERMANENT STRUCTURE DEPICTED ON THESE PLANS STAKED FOR CONSTRUCTION BY A LICENSED SURVEYOR. LICENSED SURVEYOR SHALL STAKE ALL ITEMS USING COORDINATE GEOMETRY (RECTIFIED TO SITE CONTROL) CONTAINED IN CAD DRAWING FILES PROVIDED BY TEBALDI ENGINEERING, LLC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO RETRIEVE LATEST CAD FILES FROM THE ENGINEER REFLECTING ANY ISSUED PLAN REVISIONS. THE ENGINEER SHALL IMMEDIATELY BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.

UTILITY CONFLICT NOTE:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL NOTIFY TEBALDI ENGINEERING, LLC, TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

Revision	Date	By	Appr.	CMT	REVISED PER SITE REVISIONS
2	2/13/25	CMT			
1	2/27/23	CMT			

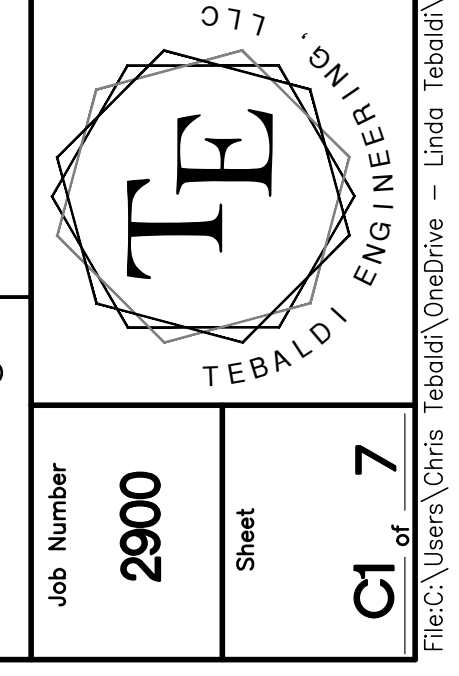
Title: COVER SHEET
 2900 DEVELOPMENT
 2900 78TH AVE SE
 MERCER ISLAND, WA 98040

For: 2900 DEVELOPMENT LLC
 2900 78TH AVE SE
 MERCER ISLAND, WA 98040



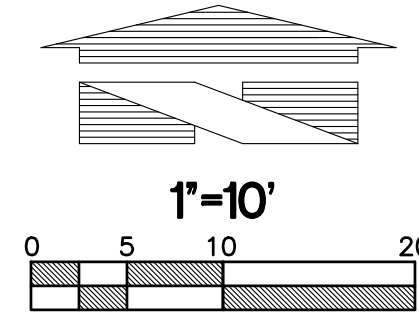
Designed	CMT	2/13/25
Drawn	CMT	
Checked	CMT	
Approved	CMT	
Date		6/10/22

P.O. BOX 121
 SUMNER, WA 98390
 (206) 450-5096
 TEBALDIENGINEERING.COM

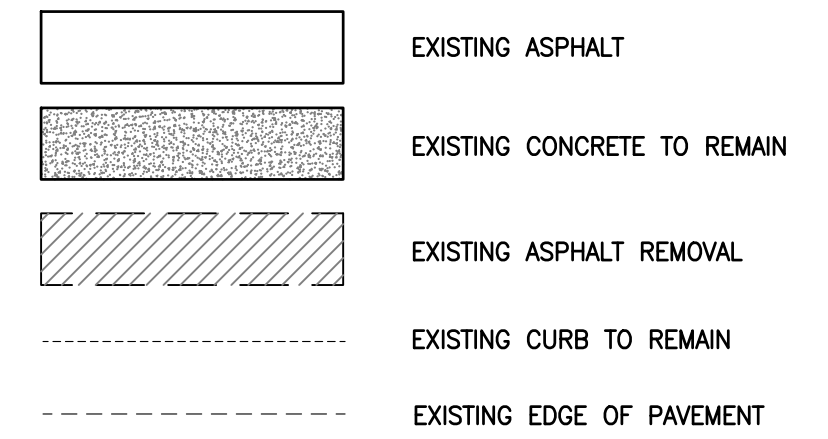


Job Number: 2900
 Sheet: C1 of 7

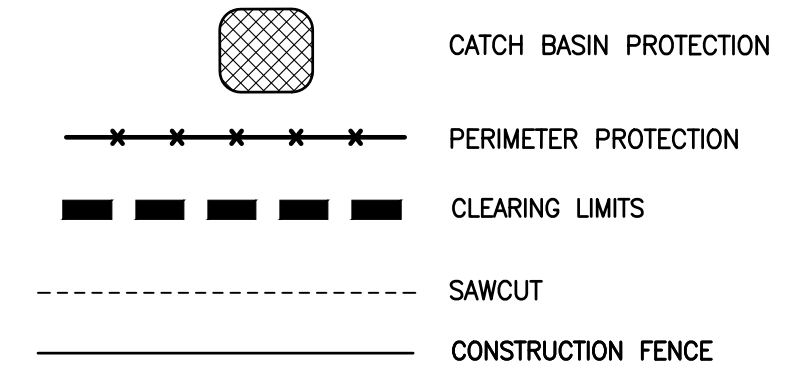
2900 DEVELOPMENT TESC PLAN



DEMO LEGEND:



TESC LEGEND:



EROSION CONTROL CALLOUTS:

- 1 CONTRACTOR TO INSTALL SILT FENCE AROUND PERIMETER OF SITE AS REQUIRED TO PREVENT SILT-LADEN RUNOFF FROM LEAVING SITE, AND AS DIRECTED BY INSPECTOR. SEE DETAIL ON THIS SHEET.
- 2 CONTRACTOR TO INSTALL STORM DRAIN INLET PROTECTION AT ALL DOWNSTREAM INLET LOCATIONS AS REQUIRED TO PREVENT SILT-LADEN WATER FROM ENTERING STORM DRAINAGE SYSTEM. SEE DETAIL ON THIS SHEET.
- 3 TEMPORARY STOCKPILE LOCATION. ADJUST SIZE AND LOCATION OF AREA AS NEEDED DURING CONSTRUCTION.
- 4 CONSTRUCTION ENTRANCE. SEE DETAIL ON THIS SHEET.

CONSTRUCTION SEQUENCE

1. FLAG ALL DISTURBED AND/OR CLEARING LIMITS.
2. CALL THE UTILITY LOCATE SERVICE TO VERIFY LOCATION OF ANY EXISTING UTILITIES TWO (2) WORKING DAYS PRIOR TO START OF CONSTRUCTION.
3. IDENTIFY AND PROTECT ALL EXISTING VEGETATION TO REMAIN, AS REQUIRED.
4. PERFORM CLEARING AND GRADING REQUIRED FOR INSTALLATION OF PERIMETER CONTROLS.
5. INSTALL PERIMETER RUNOFF CONTROLS INCLUDING SILT FENCING AND CONSTRUCTION FENCING.
6. INSTALL STORM DRAINAGE PROTECTION.
7. CLEAR AND STABILIZE CONSTRUCTION ACCESS, IF REQUIRED.
8. COMPLETE ALL REQUIRED STOCKPILING, SITE CLEARING, AND GRADING.
9. INSTALL SITE UTILITIES.
10. COMPLETE SITE PAVING.
11. COMPLETE FINAL GRADING, STABILIZATION, AND LANDSCAPING.
12. REMOVE SEDIMENT AND EROSION CONTROL MEASURES.

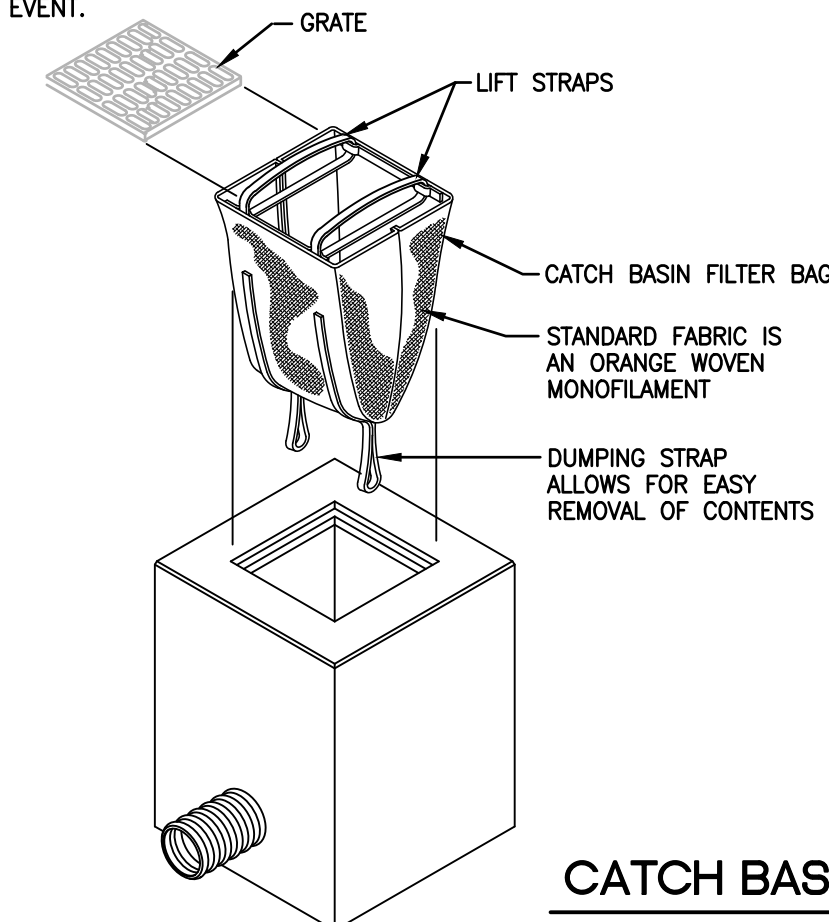
BMP MAINTENANCE NOTES:

1. AREAS TO BE CLEARED, GRUBBED, AND EXPOSED AT ONE TIME SHALL BE KEPT TO THE SMALLEST AREA POSSIBLE.
2. TEMPORARY GROUND COVER SHALL BE PLANTED OR A FILL TACKIFIER SPREAD OVER EXPOSED AREAS NOT BEING WORKED ON FOR 14 DAYS.
3. TEMPORARY EROSION CONTROLS SHOULD NOT BE REMOVED BEFORE PERMANENT EROSION CONTROLS ARE IN-PLACE AND ESTABLISHED.
4. ALL MEASURES TO CONTROL EROSION AND OTHER POLLUTANTS SHALL BE IN PLACE BEFORE ANY SAFETY MOVING OPERATIONS ARE INITIATED.
5. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE CHECKED AND UPDATED, AS NEEDED, AT THE END OF EACH WORK WEEK AND IMMEDIATELY FOLLOWING EACH RAIN EVENT.

INSTALLATION AND MAINTENANCE GUIDELINES:

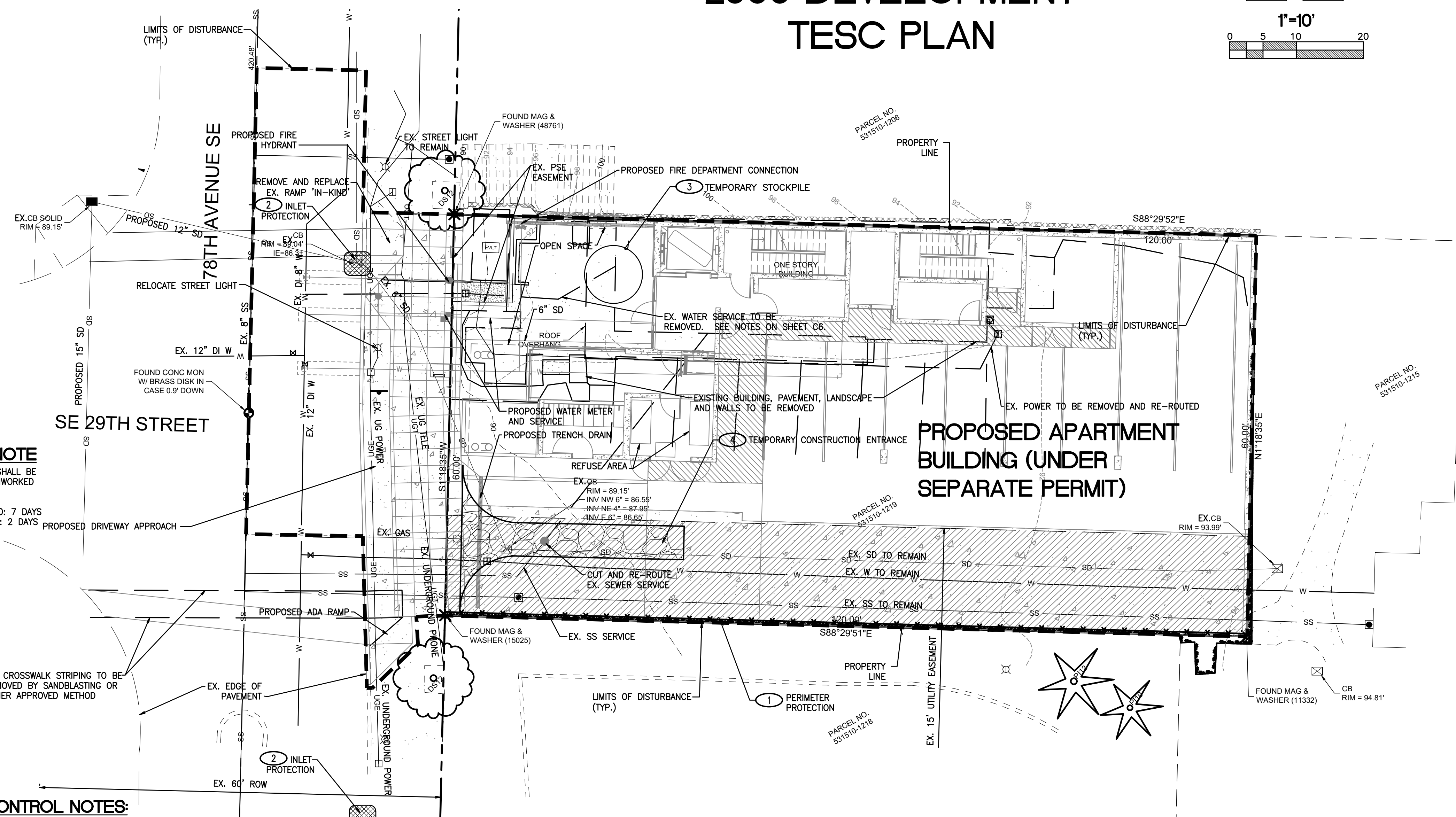
INSTALLATION: REMOVE THE GRATE FROM CATCH BASIN. IF USING OPTIONAL OIL ABSORBENTS; PLACE ABSORBENT PILLON IN UNIT. STAND THE GRATE ON END. MOVE THE TOP LIFTING STRAPS OUT OF THE WAY AND PLACE THE GRATE INTO THE CATCH BASIN FILTER BAG SO THAT THE GRATE IS BELOW THE TOP STRAPS AND ABOVE THE LOWER STRAPS. HOLDING THE LIFTING DEVICES, INSERT THE GRATE INTO THE INLET.

MAINTENANCE: REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM VICINITY OF UNIT AFTER EACH STORM EVENT. AFTER EACH STORM EVENT AND AT REGULAR INTERVALS, LOOK INTO THE DANDY BAG. IF THE CONTAINMENT AREA IS MORE THAN 1/3 FULL OF SEDIMENT, THE UNIT MUST BE EMPTIED. TO EMPTY UNIT, LIFT THE UNIT OUT OF THE INLET USING THE LIFTING STRAPS AND REMOVE THE GRATE. IF USING OPTIONAL OIL ABSORBENTS; REPLACE ABSORBENT WHEN NEAR SATURATION.



CATCH BASIN FILTER BAG

NOT TO SCALE



SOIL STABILIZATION NOTE

ANY AREAS UNWORKED EXPOSED SOILS SHALL BE STABILIZED WITH SEED AND MULCH IF UNWORKED AS FOLLOWS:

- DRY SEASON: MAY 1 - SEPTEMBER 30: 7 DAYS
- WET SEASON: OCTOBER 1 - APRIL 30: 2 DAYS

HAULING/SILTATION CONTROL NOTES:

1. PUBLIC STREETS ARE TO BE KEPT CLEAN OF DIRT AND DEBRIS GENERATED BY WORK. CLEANUP SHALL BE BY SWEEPING AND/OR OTHER APPROVED METHODS ON A DAILY BASIS.
2. CONTRACTOR SHALL PROVIDE SILT BAGS OR OTHER SILTATION CONTROL MEASURES ON EXISTING CATCH BASIN(S) IN PROXIMITY OF WORK WHICH HAVE POTENTIAL TO RECEIVE SURFACE RUNOFF FROM THE WORK AREA OR ANY LOCATIONS THAT MAY BE DESIGNATED BY THE AUTHORITY HAVING JURISDICTION DURING THE COURSE OF THE WORK.
3. EFFORTS SHALL BE MADE DURING CONSTRUCTION ACTIVITIES TO STABILIZE ALL DISTURBED AREAS AS QUICKLY AS POSSIBLE TO MINIMIZE EROSION.
4. ITEMS FOR DEMOLITION ARE DEPICTED PER DESIGN DRAWINGS. CONTRACTOR TO VERIFY AND LOCATE ANY ITEMS FOR DEMOLITION PRIOR TO START OF CONSTRUCTION AND NOTIFY BARGHAUSEN CONSULTING ENGINEERS, INC. IMMEDIATELY OF ANY DISCREPANCIES.
5. CONTRACTOR TO REVIEW AS-BUILT DRAWINGS IN PROJECT AREA AND REMOVE AND/OR RELOCATE ANY SITE APPURTENANCES IN PROJECT AREA THAT IMPACT THE PROJECT.

GRADING QUANTITIES

APPROX. CUT = 200 CUBIC YARDS
APPROX. FILL = 200 CUBIC YARDS

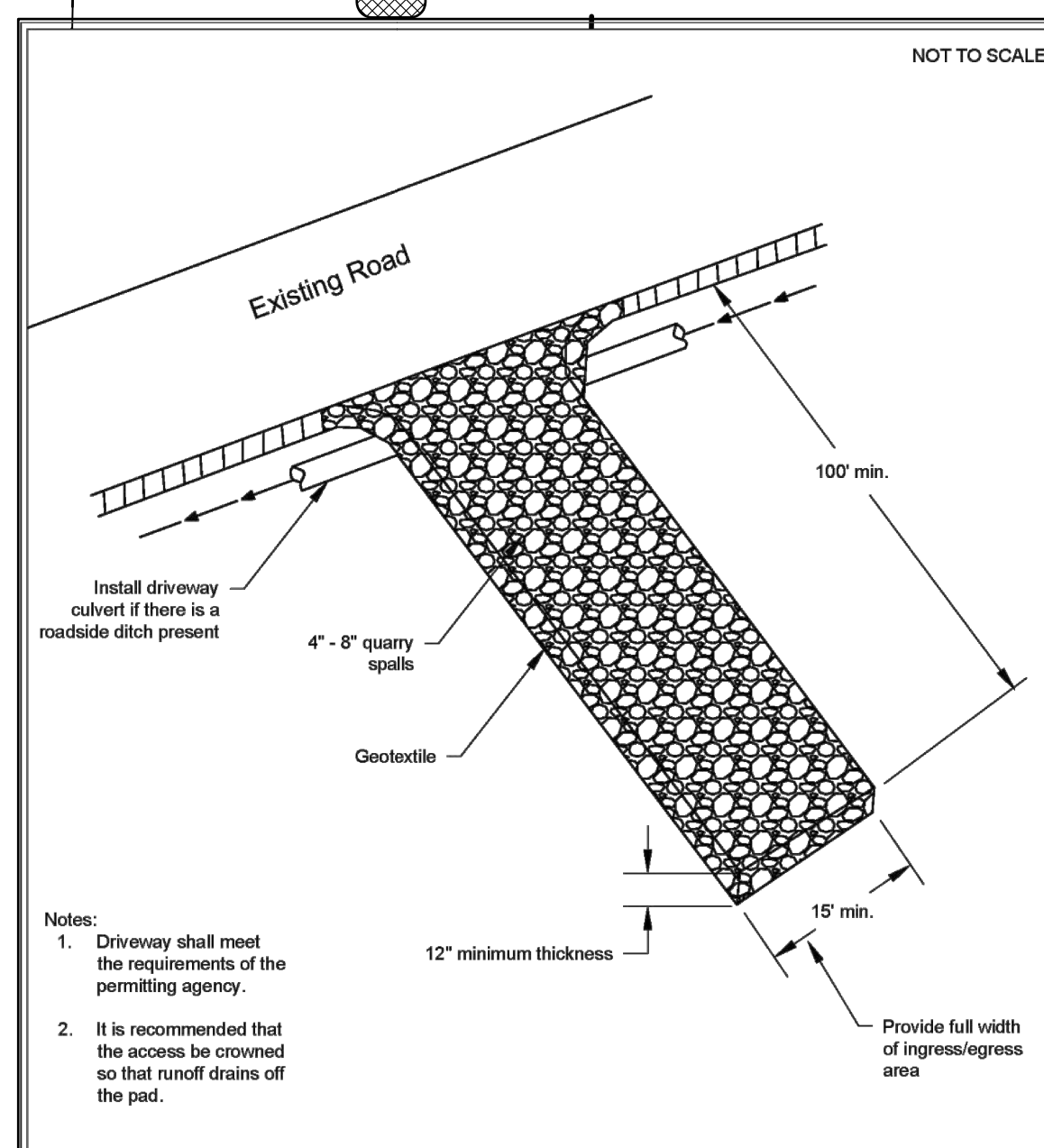
GRADING QUANTITIES ARE FOR PERMITTING PURPOSES ONLY. ACTUAL GRADING QUANTITIES SHOULD BE DETERMINED BY CONTRACTOR AFTER REVIEW OF PLANS.



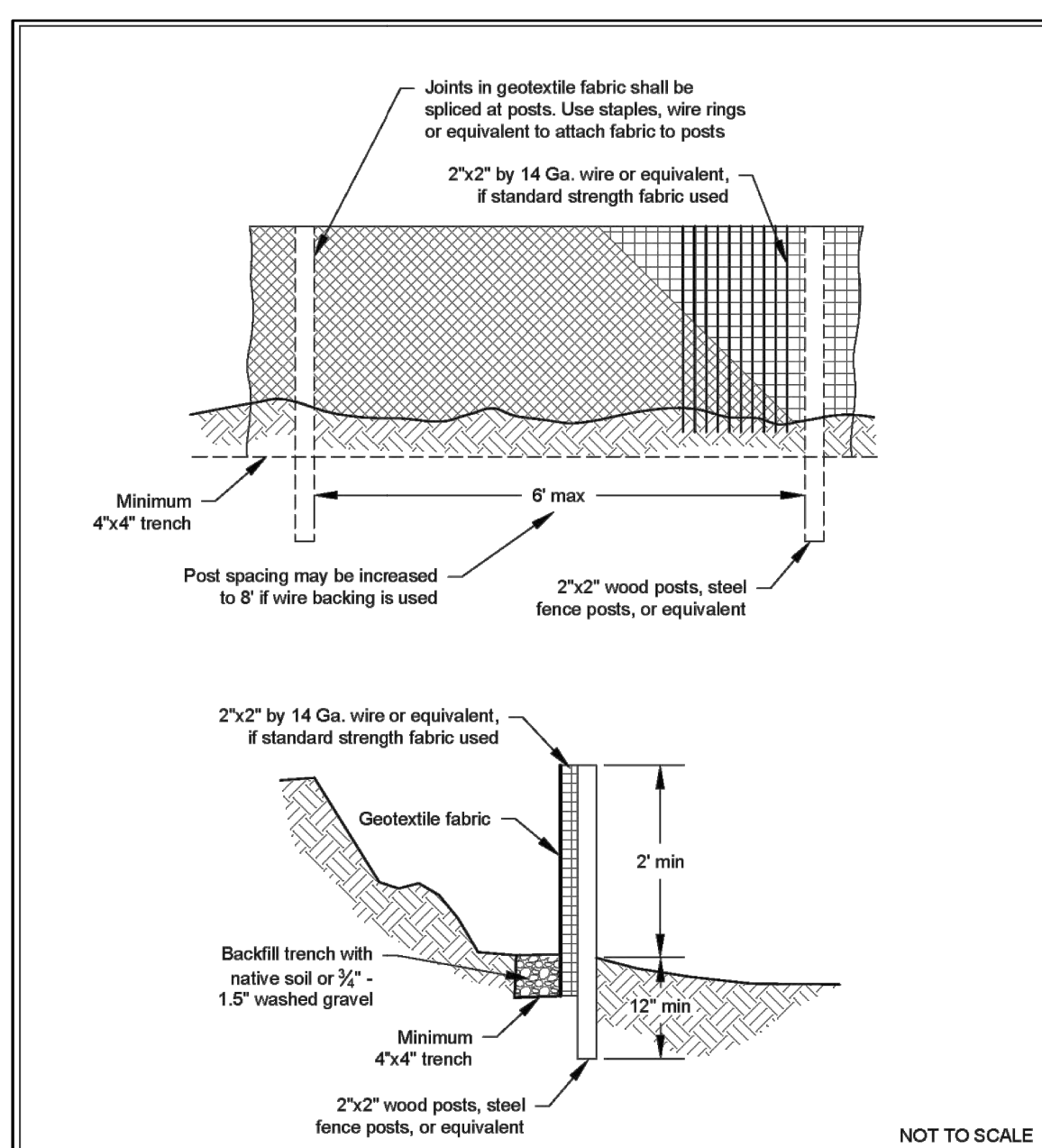
Know what's below.
Call before you dig.
Dial 811
Or Call 1-800-424-5555

UTILITY CONFLICT NOTE

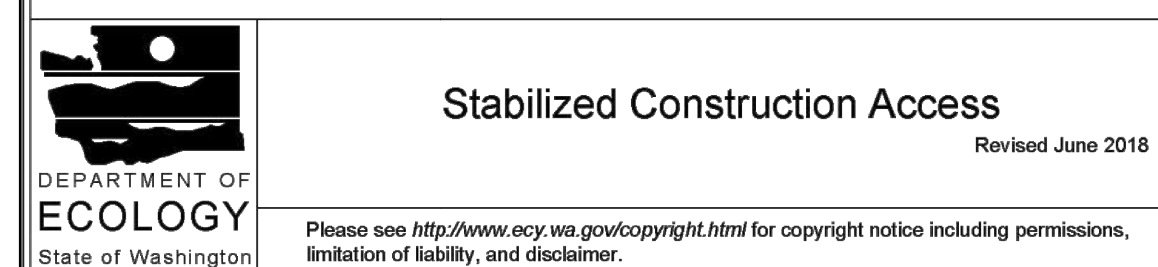
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE 1-800-424-5555 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT THE ENGINEER TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.



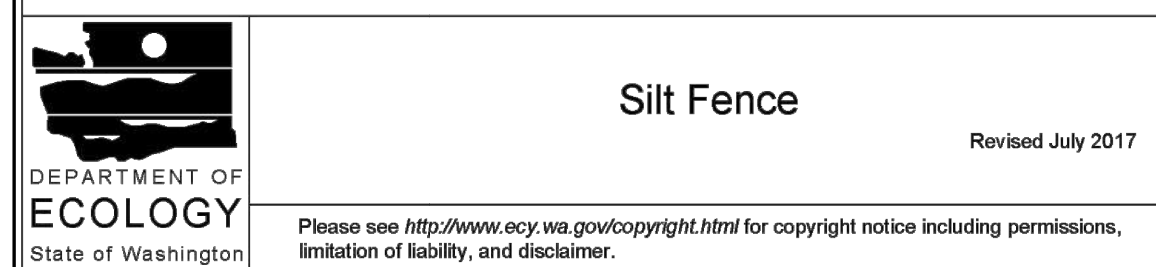
Stabilized Construction Access
Revised June 2018



Silt Fence
Revised July 2017



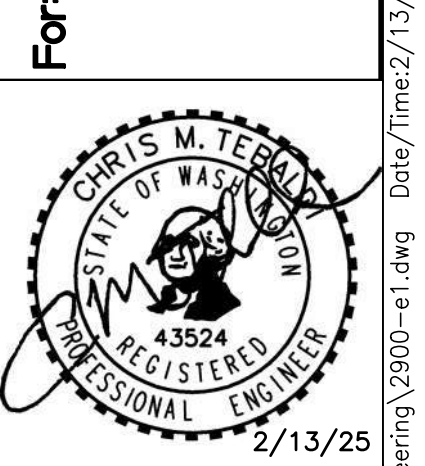
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TESC PLAN
2900 DEVELOPMENT
2900 78TH AVE SE
MERCER ISLAND, WA 98040

For: 2900 DEVELOPMENT LLC
2900 78TH AVE SE
MERCER ISLAND, WA 98040



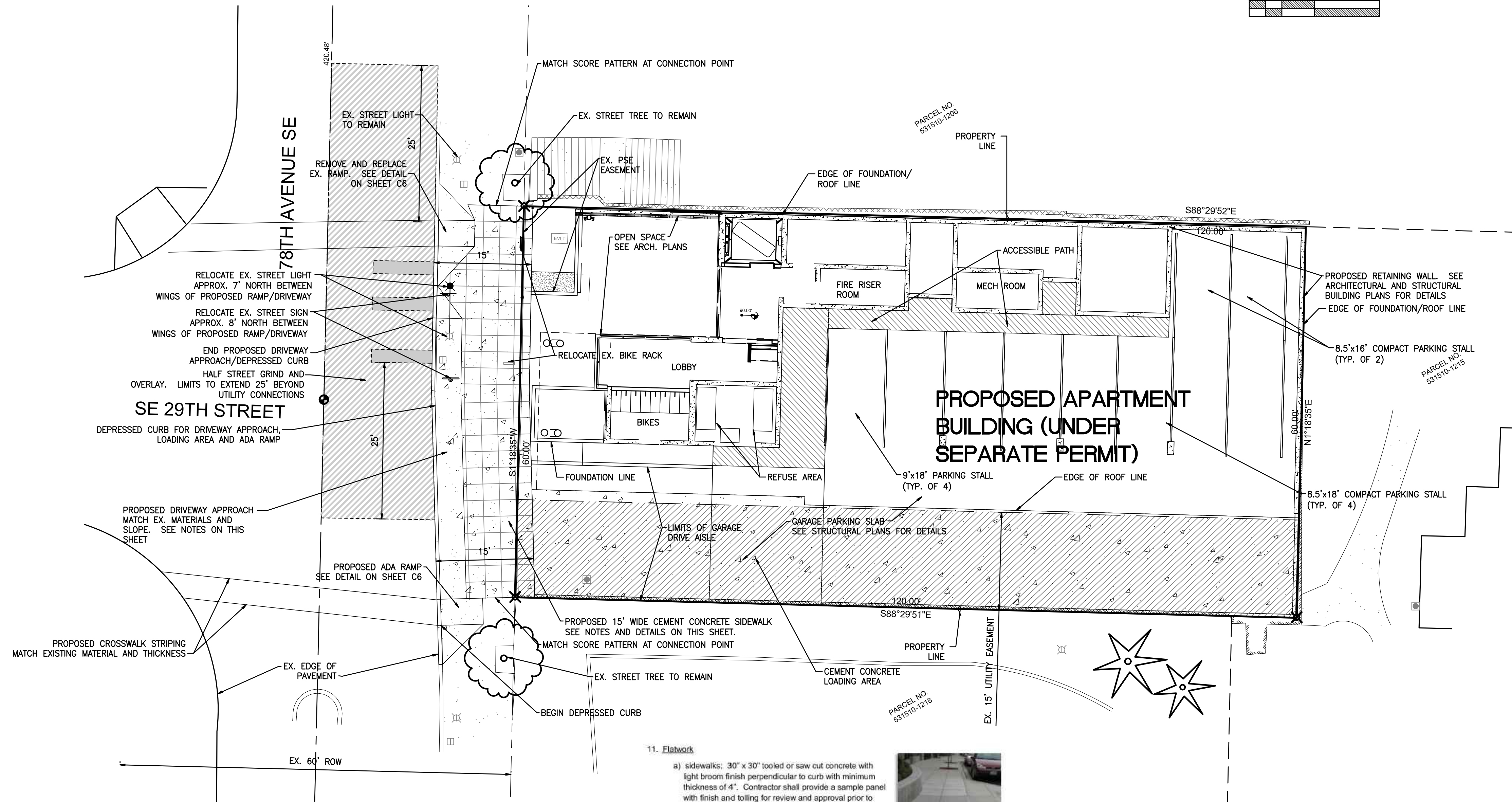
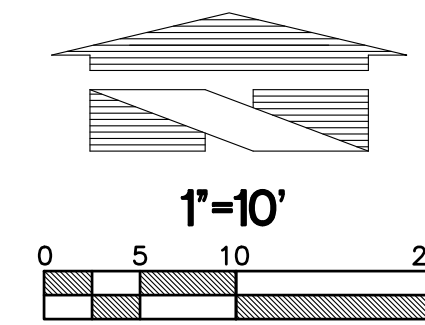
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Designed	CMT	
Drawn	CMT	
Checked	CMT	
Approved	CMT	
Date	6/10/22	

P.O. BOX 121
SUMNER, WA 98390
(206) 450-5096
TEBALDIENGINEERING.COM

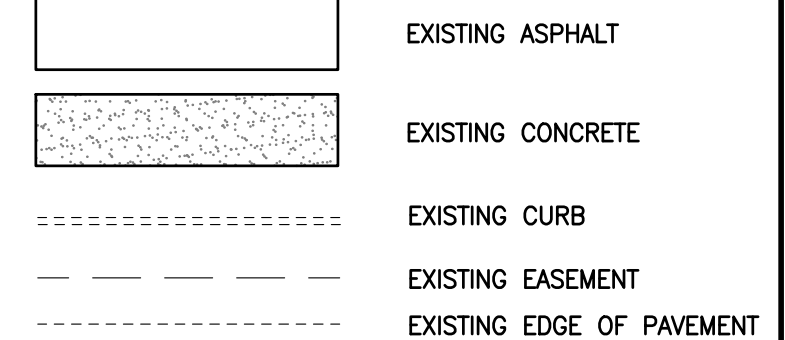


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Sheet: C2 of 7

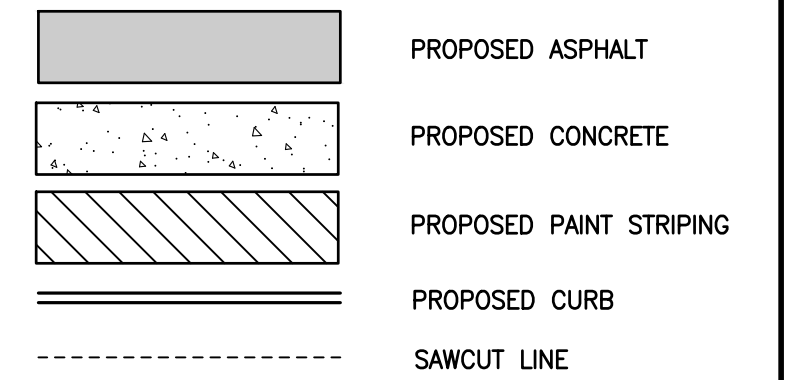
2900 DEVELOPMENT CIVIL SITE PLAN



LEGEND EXISTING



PROPOSED



No.	Date	By	Appr.	Revised Per City Comments
2	2/13/25	CMT	CMT	REVISED PER SITE REVISIONS
1	2/27/23	CMT	CMT	REVISED PER CITY COMMENTS

Title:
CIVIL SITE PLAN
2900 DEVELOPMENT
2900 78TH AVE SE
MERCER ISLAND, WA 98040

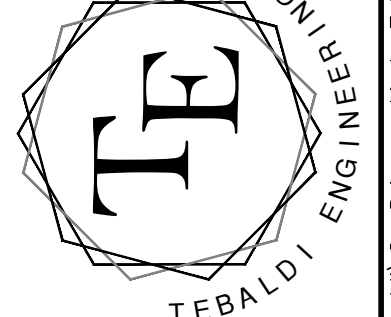
For:
2900 DEVELOPMENT LLC
2900 78TH AVE SE
MERCER ISLAND, WA 98040



Scale:
Horizontal: 1"=10'
Vertical: N/A

Designed: CMT
Drawn: CMT
Checked: CMT
Approved: CMT
Date: 6/10/22

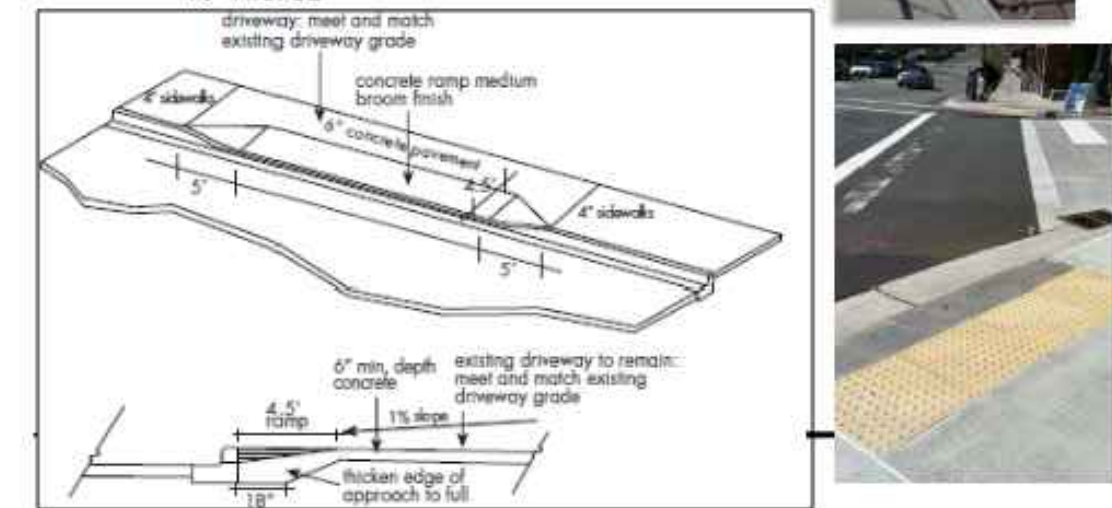
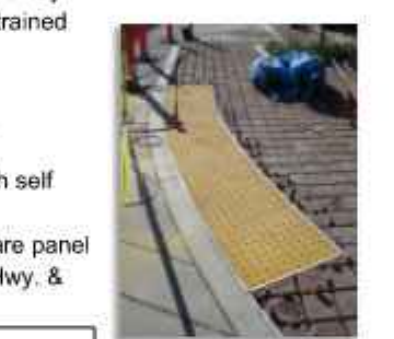
P.O. BOX 121
SUMNER, WA 98390
(206) 450-5096
TEBALDIENGINEERING.COM



Job Number: 2900
Sheet: C3 of 7

11. Flatwork

- sidewalks: 30" x 30" tooled or saw cut concrete with light broom finish perpendicular to curb with minimum thickness of 4". Contractor shall provide a sample panel with finish and toiling for review and approval prior to proceeding with pouring of sidewalk.
- control joints: 3/8" x 3" felt with self-leveling caulk on top (Pechora Dyna Trol II slope grade (SG) 15% urethane sealant #39 limestone)
- borders around street lights and tree grates: 6" wide with smooth trowel finish
- curb & gutter: 6" concrete curb and gutter with light broom finish
- driveways: width of throat shall be 60" wider than parking garage entrance or as direct by City Engineer and minimum thickness of 6"
- concrete mix design for driveways and sidewalks: Stoneway 6013 or approved equal, 4,000 psi, 6 sack, 3/8", air entrained
- detectable warning strips:
 - CAST in Tact 3 or as approved by City Engineer.
 - Color: yellow
 - Joint: felt expansion joint on perimeter topped with self leveling caulk joint filler
 - Curved installations: cut wedges out of each square panel (refer to example on southwest corner of Sunset Hwy. & 78th Ave. SE)

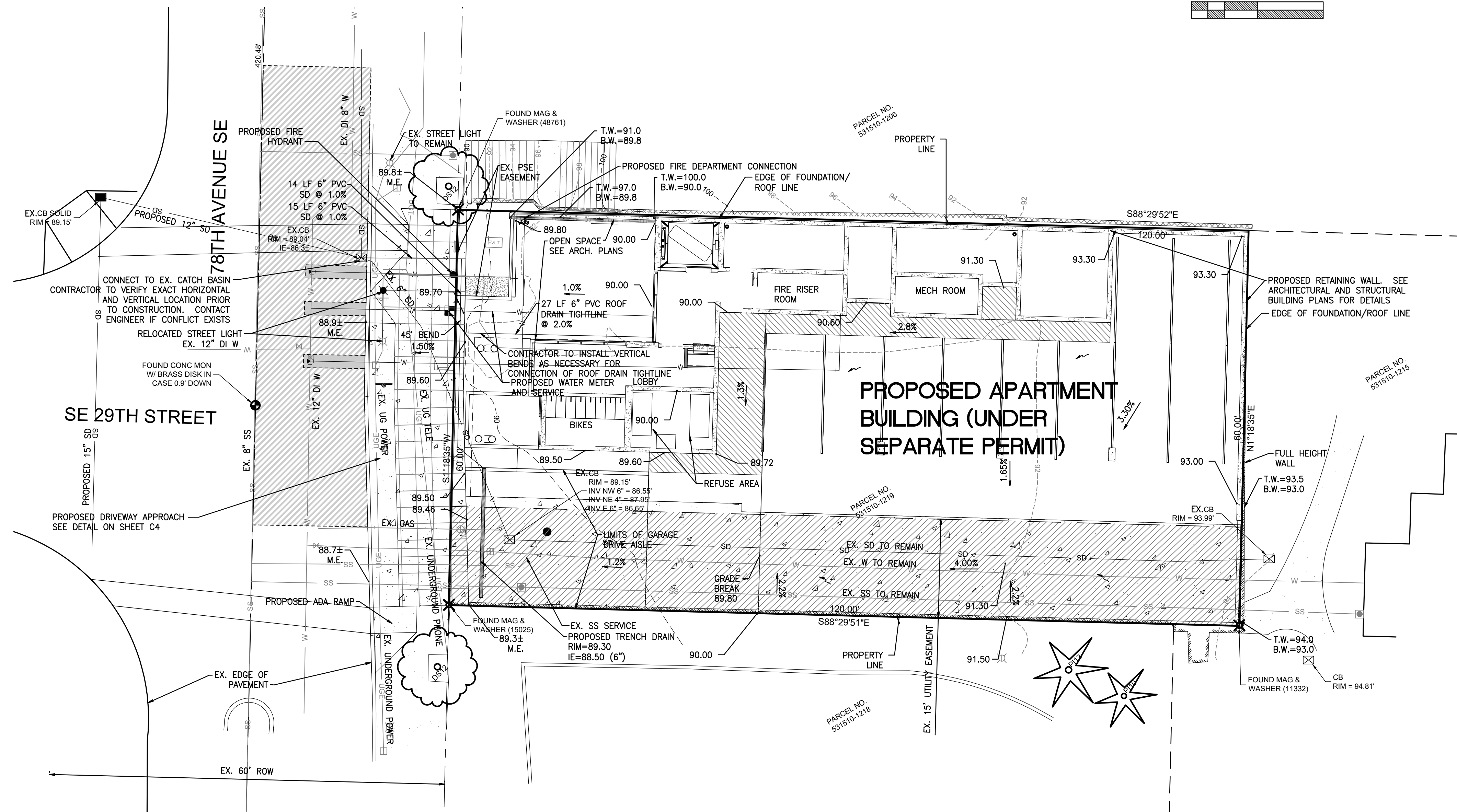
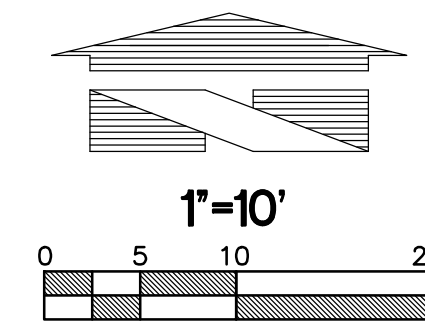


SIDEWALK AND DRIVEWAY DETAILS
NOT TO SCALE

811 Know what's below.
Call before you dig.
Dial 811
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UTILITY CONFLICT NOTE
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-424-5555 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT THE ENGINEER TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

A PORTION OF SECTION 12, TOWNSHIP 24N, RANGE 4E, W.M., KING COUNTY
2900 DEVELOPMENT
GRADING AND DRAINAGE PLAN



LEGEND
EXISTING

- EXISTING ASPHALT
- EXISTING CONCRETE
- EXISTING CURB
- EXISTING EASEMENT
- EXISTING EDGE OF PAVEMENT
- EXISTING STORM DRAIN
- EXISTING SEWER LINE
- EXISTING UNDERGROUND WATER LINE
- EXISTING UNDERGROUND TELEPHONE LINE
- EXISTING UNDERGROUND POWER
- EXISTING STORM DRAIN CATCH BASIN
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION

PROPOSED

- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED PAINT STRIPING
- PROPOSED CURB
- SAWCUT LINE
- PROPOSED STORM PIPE
- PROPOSED CATCH BASIN
- PROPOSED CLEANOUT
- FLOW PATH
- PROPOSED RIDGELINE
- PROPOSED CONTOUR
- PROPOSED SPOT GRADE
- PROPOSED GRADING SLOPE
- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER PIPE
- PROPOSED SANITARY SEWER CLEANOUT

UTILITY SEPARATION NOTE:

PROVIDE A MINIMUM OF 42" OF COVER FOR ALL WATER SERVICE LINES.

PROVIDE MINIMUM 1.5' VERTICAL SEPARATION BETWEEN WATER SERVICE AND SEWER SERVICE LINES.

PROVIDE MINIMUM 0.5' VERTICAL SEPARATION BETWEEN WATER SERVICE AND STORM DRAIN LINES.

CONTRACTOR SHALL POTHOLE EX. UTILITIES PRIOR TO CONSTRUCTION TO ENSURE PROPER SEPARATION CAN BE MET.

NOTES:

- ALL GRADING AND PUBLIC IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THE CURRENT CITY ORDINANCE AND STANDARD PLANS.
- ALL SPOT ELEVATIONS SHOWN ARE TO FINISH SURFACE (TOP OF ASPHALT OR TOP OF CONCRETE PAD) UNLESS OTHERWISE NOTED.
- CONTRACTOR TO INSTALL FOOTING DRAIN AND CONNECT TO DOWNSTREAM STORM DRAINAGE SYSTEM.

No.	Date	By	Ckt.	Appr.	Revised Per Site Comments
2	2/13/25	CMT	CMT		
1	2/27/23	CMT	CMT		

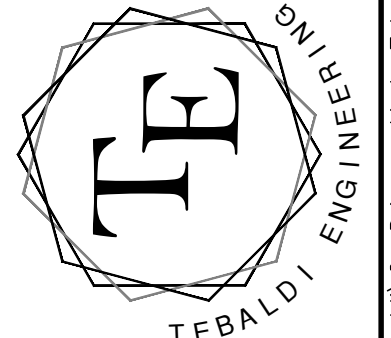
Title:
GRADING AND DRAINAGE PLAN
2900 DEVELOPMENT
2900 78TH AVE SE
MERCER ISLAND, WA 98040

For:
2900 DEVELOPMENT LLC
2900 78TH AVE SE
MERCER ISLAND, WA 98040



Scale:	Horizontal	Vertical
	1"=10'	N/A
Designed	CMT	
Drawn	CMT	
Checked	CMT	
Approved	CMT	
Date	6/10/22	

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 SUMNER, WA 98390
 (206) 450-5096
 TEBALDIENGINEERING.COM



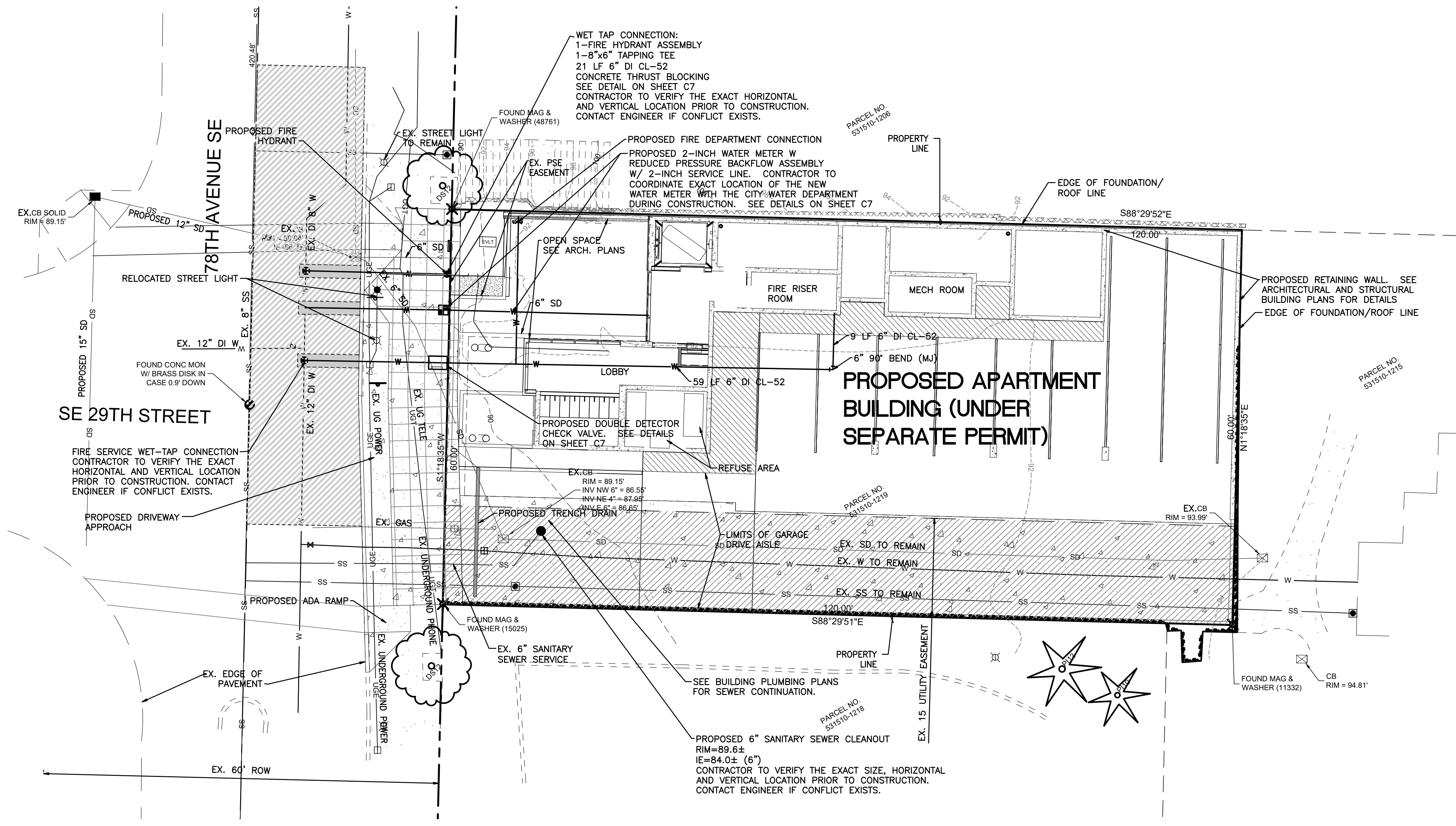
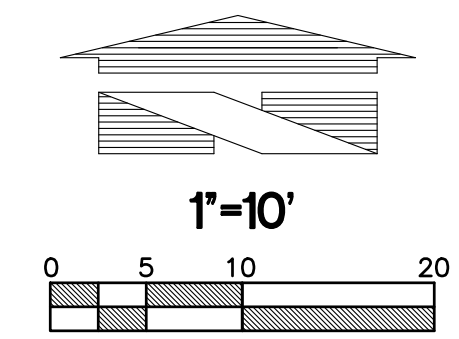
Job Number
2900

Sheet
C4 of **7**

811
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 Call before you dig.
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 Or Call 1-800-424-5555

UTILITY CONFLICT NOTE:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLES THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-424-5555 AND THEN POTHOLES ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT THE ENGINEER TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

A PORTION OF SECTION 12, TOWNSHIP 24N, RANGE 4E, W.M., KING COUNTY
2900 DEVELOPMENT
WATER AND SANITARY SEWER PLAN



LEGEND
EXISTING

- EXISTING ASPHALT
- EXISTING CONCRETE
- EXISTING CURB
- EXISTING EASEMENT
- EXISTING EDGE OF PAVEMENT
- EXISTING STORM DRAIN
- EXISTING SEWER LINE
- EXISTING UNDERGROUND WATER LINE
- EXISTING UNDERGROUND TELEPHONE LINE
- EXISTING UNDERGROUND POWER
- EXISTING STORM DRAIN CATCH BASIN
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION

PROPOSED

- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED PAINT STRIPING
- PROPOSED CURB
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- PROPOSED STORM PIPE
- PROPOSED CATCH BASIN
- PROPOSED CLEANOUT
- FLOW PATH
- PROPOSED RIDGELINE
- PROPOSED CONTOUR
- PROPOSED SPOT GRADE
- PROPOSED GRADING SLOPE
- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER PIPE
- PROPOSED SANITARY SEWER CLEANOUT

UTILITY SEPARATION NOTE:

PROVIDE A MINIMUM OF 42" OF COVER FOR ALL WATER SERVICE LINES.

PROVIDE MINIMUM 1.5' VERTICAL SEPARATION BETWEEN WATER SERVICE AND SEWER SERVICE LINES.

PROVIDE MINIMUM 0.5' VERTICAL SEPARATION BETWEEN WATER SERVICE AND STORM DRAIN LINES.

CONTRACTOR SHALL POT-HOLE EX. UTILITIES PRIOR TO CONSTRUCTION TO ENSURE PROPER SEPARATION CAN BE MET.



Know what's below.
 Call before you dig.
 Dial 811
 (1-800-424-5555)

UTILITY CONFLICT NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL NOTIFY TEBALDI ENGINEERING, LLC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

Revision	No.	Date	By	Appr.	CMT	REVISIONS
2	2/13/25				CMT	REVISED PER SITE REVISIONS
1	2/27/23				CMT	REVISED PER CITY COMMENTS

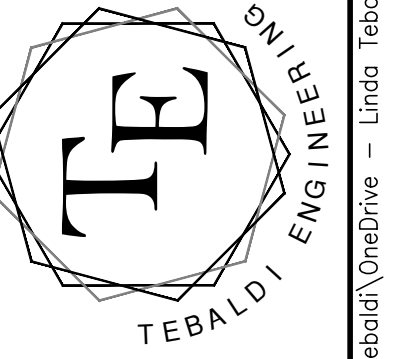
Title: **WATER AND SANITARY SEWER PLAN**
2900 DEVELOPMENT
2900 78TH AVE SE
MERCER ISLAND, WA 98040

For: **2900 DEVELOPMENT LLC**
2900 78TH AVE SE
MERCER ISLAND, WA 98040



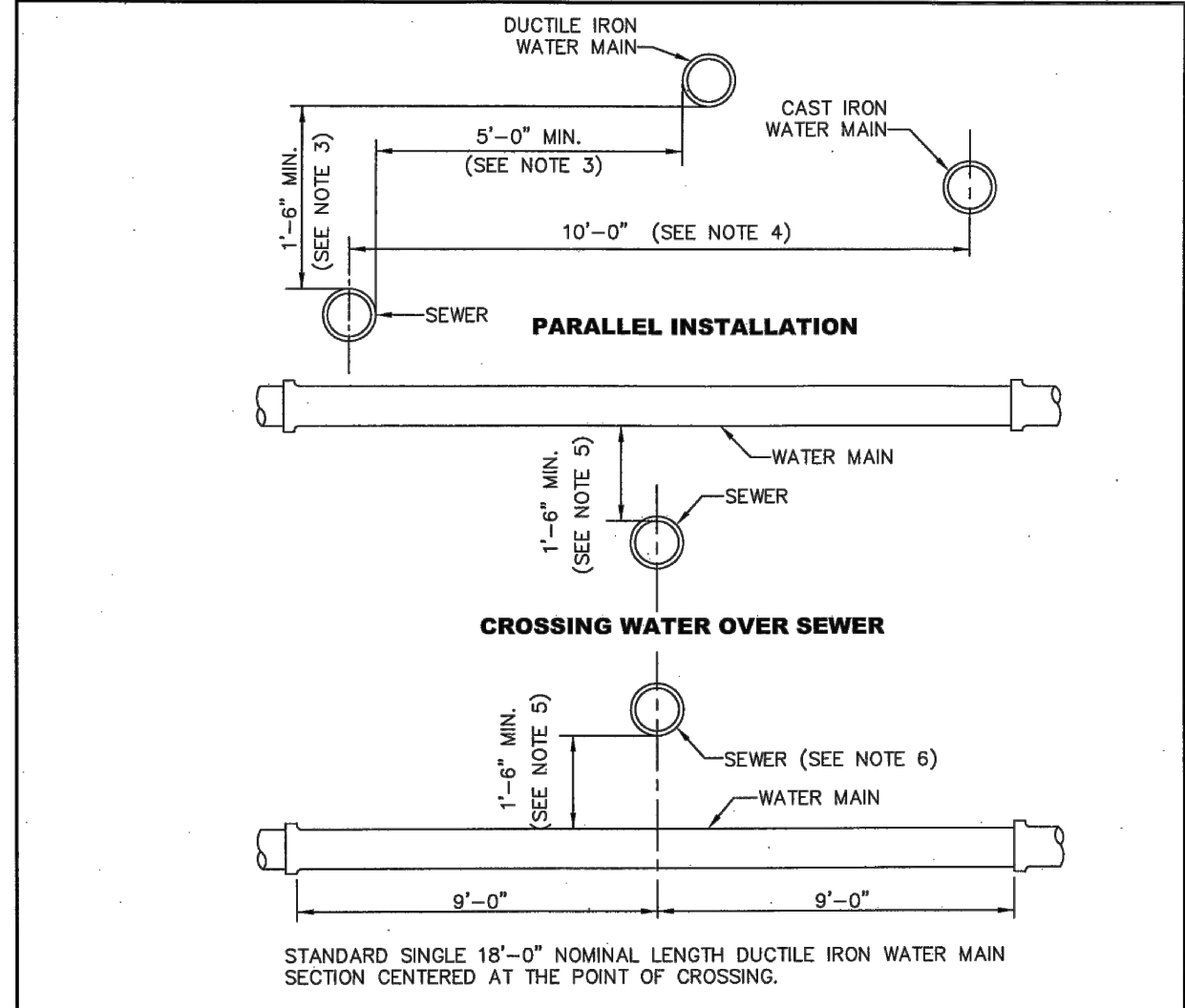
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Designed	CMT	
Drawn	CMT	
Checked	CMT	
Approved	CMT	
Date	6/10/22	

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Job Number: **2900**
 Sheet: **C5** of **7**

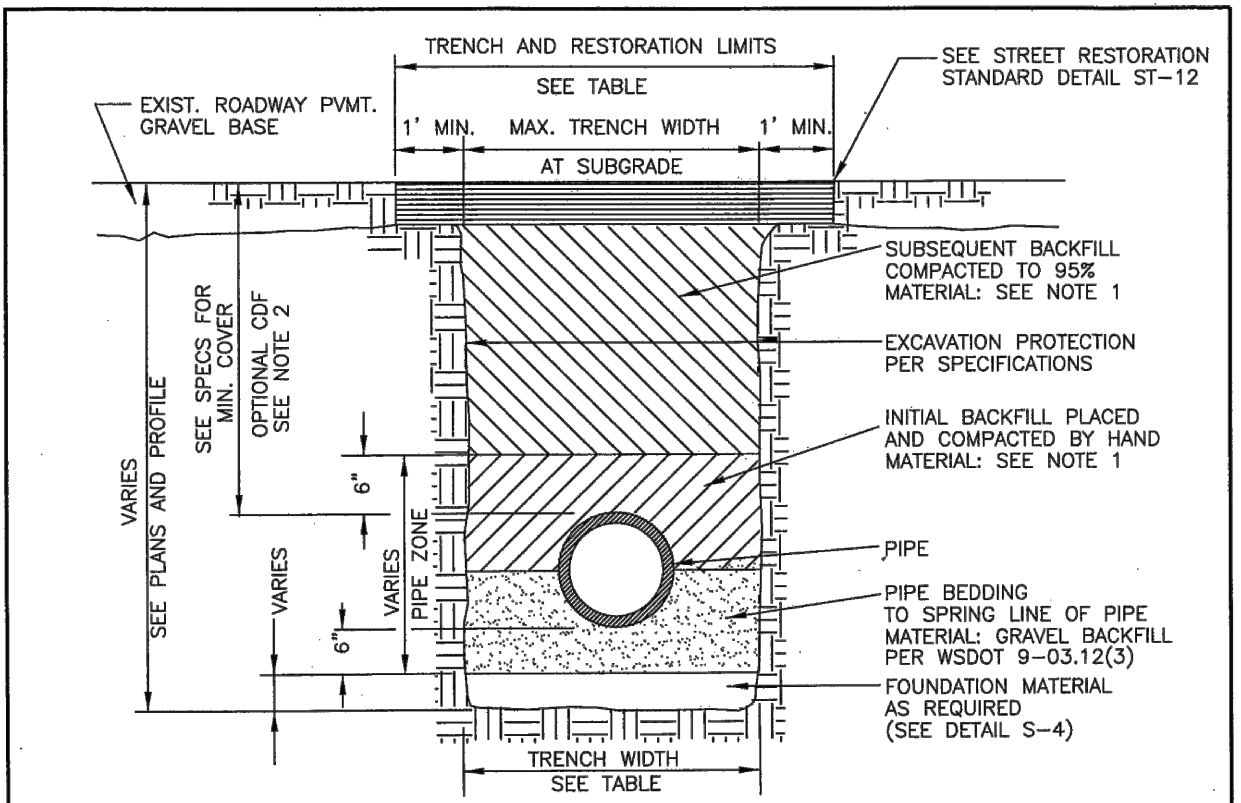
NOTES AND DETAILS



NOTES

- ANY EXCEPTIONS TO THE STANDARD PLAN MAY BE APPROVED BY THE CITY ENGINEER.
- "SEWER" INCLUDES SANITARY SEWER, COMBINED SEWER AND SIDE SEWER.
- WHERE MINIMUM CLEARANCES CANNOT BE MET, SEWER SHALL BE CONSTRUCTED OF MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS INCLUDING WATER MAIN PRESSURE TESTING REQUIREMENTS.
- NO VERTICAL CLEARANCE REQUIRED.
- IF VERTICAL SEPARATION CANNOT BE MET, WATER MAIN SHALL BE A STANDARD SINGLE 18'-0" NOMINAL LENGTH DUCTILE IRON WATER MAIN SECTION CENTERED AT THE POINT OF CROSSING.
- SEWER SHALL HAVE ADEQUATE FOUNDATION SUPPORT TO PREVENT SETTLEMENT ON THE WATER MAIN AN TO PREVENT DEFLECTION OF WATER MAIN JOINTS.
- CROSSINGS AT AN ANGLE BETWEEN 90° AND 45° MAY OCCUR BETWEEN 9'-0" AND 6'-0" OF WATER MAIN JOINT FOR CROSSINGS LESS THAN 45°, SEE NOTE 1.

CITY OF MERCER ISLAND
STANDARD DETAILS
SEWER
WATER & SEWER CLEARANCES AND MATERIAL REQUIREMENTS
 6-5-2009 NO SCALE **S-2**
 APPROVED

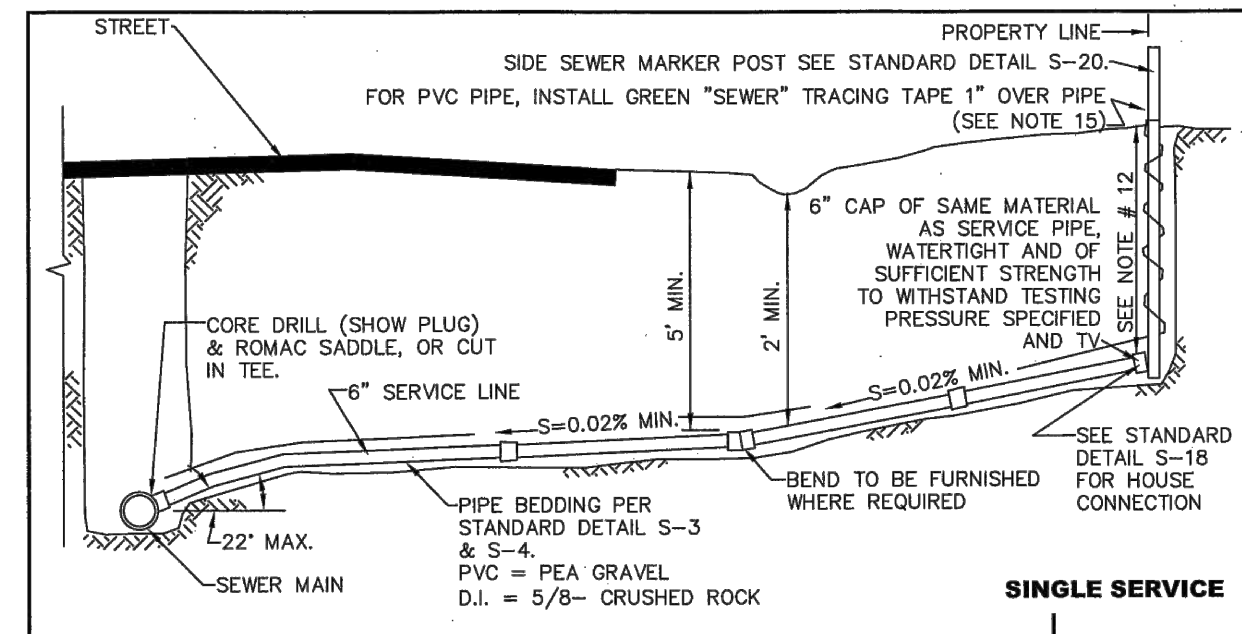


NOTES

- ALL TRENCH BACKFILL IN PUBLIC RIGHT-OF-WAY OR ROADWAY AREAS SHALL BE CRUSHED SURFACING PER WSDOT 9-09.8(3) OR BANK RUN GRAVEL PER WSDOT 9-03.19, COMPACTED IN 6" LIFTS.
- COF FOR BACKFILL MAY BE REQUIRED BY CITY ENGINEER WHEN PROPER COMPACTION AROUND EXISTING UTILITIES MAY NOT BE POSSIBLE. COF SHALL BE PER WSDOT 2-09.3(1)E.
- SEE S-4 FOR PIPE BEDDING DETAILS.

TRENCH WIDTH			
PIPE SIZE	PIPE ZONE	MAX. TRENCH WIDTH	MAX. RESTORATION WIDTH AT SURFACE
SIDE SEWER	2'-0"	2'-0"	6'-0"
	4" OR 6"	2'-2"	3'-0"
	8"	2'-4"	4'-0"
	10"	2'-6"	4'-0"
	12"	2'-8"	4'-6"

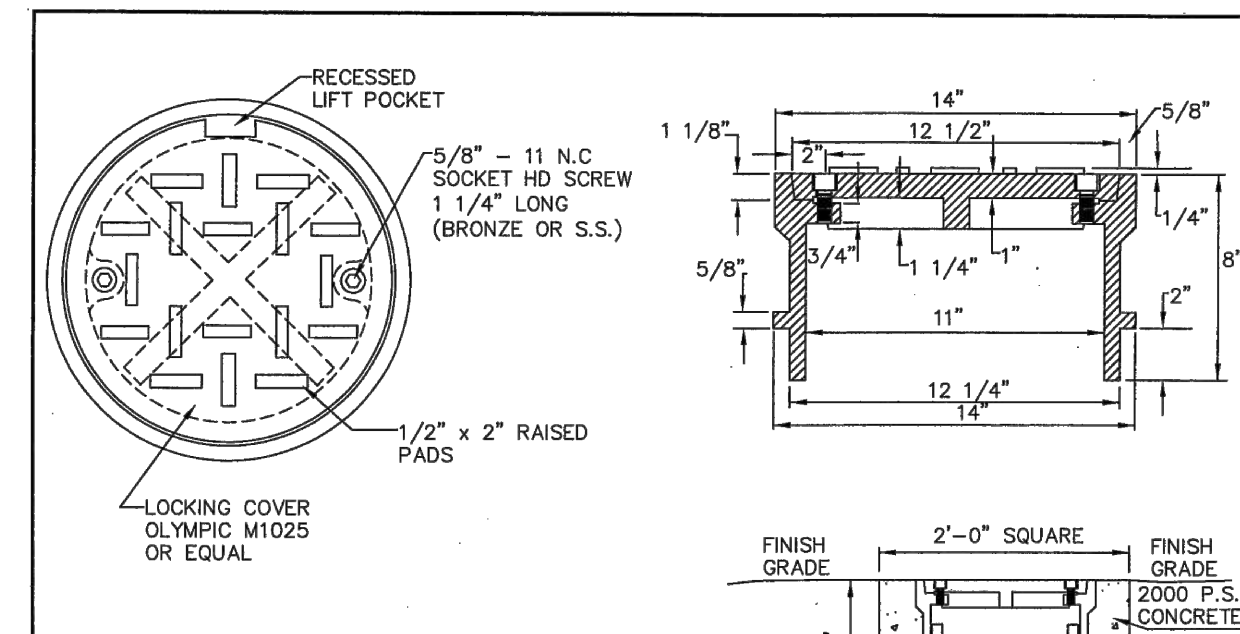
CITY OF MERCER ISLAND
STANDARD DETAILS
SEWER
TRENCH DETAIL
 6-5-2009 NO SCALE **S-3**
 APPROVED



NOTES

- ELBOWS SHALL NOT BE GREATER THAN 45 DEGREES.
- CLEAN OUT IS REQUIRED FOR EACH PIPE LENGTH GREATER THAN 100' AND FOR EACH 90° ACCUMULATED ELBOW/100'.
- RIGHT-OF-WAY RESTORATION SHALL MATCH OR EXCEED THE ORIGINAL CONDITION AND ACCORDANCE WITH CITY STANDARDS.
- ALL TRENCH BACKFILL IN PUBLIC RIGHT-OF-WAY OR ROADWAY AREAS SHALL BE CRUSHED SURFACING PER WSDOT 9-09.8(3) OR BANK RUN GRAVEL PER WSDOT 9-03.19, COMPACTED IN 6" LIFTS OR MAY BE COF WHEN DIRECTED BY THE CITY ENGINEER (SEE DETAIL S-3).
- LAY PIPE IN STRAIGHT LINE BETWEEN BENDS. MAKE ALL CHANGES IN GRADE OR LINE WITH 1/8 BEND OR WYE. 90° CHANGE WITH 1/8 BEND AND WYE.
- SEWER PIPE MINIMUM SIZE IN RIGHT-OF-WAY, AND ELSEWHERE AS DIRECTED BY ENGINEER, 2% MIN. GRADE (UNLESS DIRECTED BY ENGINEER), 50% MAXIMUM.
- ALL A.C. MAINS TO BE TAPPED IN ACCORDANCE WITH WAC 296-62-00775 STATE/FEDERAL GUIDELINES AND CERTIFICATION.
- CONSTRUCTION IN RIGHT-OF-WAY MUST BE DONE BY A REGISTERED AND LICENSED CONTRACTOR.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY SEWER ORDINANCES.
- WHERE CITY ENGINEER ALLOWS SIDE SEWER CONNECTIONS TO MANHOLE, INVERT OF SIDE SEWER SHALL BE EQUAL TO OR ABOVE MAIN SEWER CROWN, BUT NOT TO EXCEED 18" ABOVE INVERT OF MAIN SEWER.
- UNLESS OTHERWISE INDICATED ON PLAN, SIDE SEWER SHALL BE MIN. OF 6" DEEP AT PROPERTY LINE, OR 5' LOWER THAN THE LOWEST ELEVATION, WHICH EVER IS LOWER.
- ALL PIPE MATERIALS NOT TO STANDARDS WILL BE ABANDONED AND REPLACED WITH DUCTILE IRON OR PVC PIPE OF THE SAME SIZE.
- IF A BUILDING SEWER IS TO SERVE MORE THAN ONE PROPERTY, BY JOINT AGREEMENT OF THE OWNERS, AN APPROVED EASEMENT INSURING THAT ALL PROPERTIES INVOLVED SHALL HAVE PERPETUAL USE OF THE SIDE SEWER, HAVING PROVISIONS FOR OPERATION, MAINTENANCE, RECONSTRUCTION AND FOR ACCESS FOR REPAIR PURPOSES, SHALL BE SIGNED BY THE OWNERS. THIS EASEMENT SHALL BE RECORDED WITH THE COUNTY AUDITOR. A SIX INCH (MINIMUM) DIAMETER PIPE SHALL BE USED FOR THE COMMON LINE AND A SIX INCH CLEANOUT EXTENDING TO WITHIN 12 INCHES OF THE GROUND SURFACE SHALL BE PROVIDED AT THE WYE WHERE THE UPPER GRADE CONNECTIONS ARE MADE. BACKWATER VALVES SHALL BE INSTALLED ON SERVICE LINES UPSTREAM OF THE CONNECTION TO THE SHARED SIDE SEWER.
- THE CITY ENGINEER MAY REQUIRE BACKWATER VALVES ON SIDE SEWERS WHEN DEEMED NECESSARY. THE EFFECTIVE OPERATION AND MAINTENANCE OF ANY BACKWATER VALVE SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE SIDE SEWER.
- UTILITY PIPE TRACER TAPE SHALL BE DETECTABLE BELOW GROUND SURFACE, COLOR CODED, WITH UTILITY NAME PRINTED ON TAPE. CONDUCTIVE WARNING TAPE REQUIRED OVER ALL WATER PIPE. TAPE SHALL BE MANUFACTURER'S STANDARD PERMANENT, BRIGHT-COLORED, CONTINUOUS PRINTED PLASTIC TAPE, ALUMINUM BACKED, INTENDED FOR DIRECT-BURIAL SERVICE. TAPE SHALL BE NOT LESS THAN 6" WIDE X 4 MILS THICK.

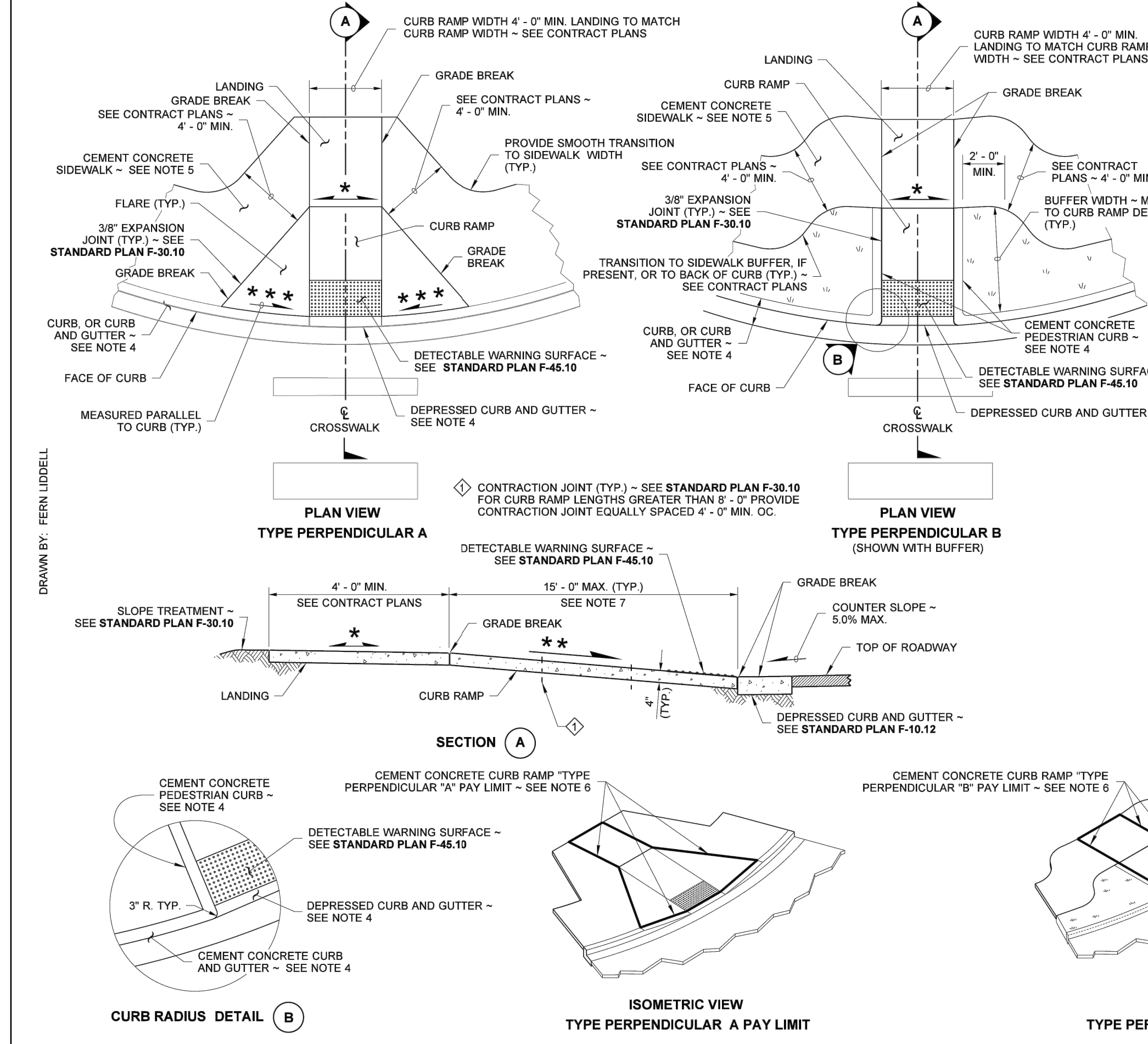
CITY OF MERCER ISLAND
STANDARD DETAILS
SEWER
SIDE SEWER CONNECTION AND STUB
 6-5-2009 NO SCALE **S-17**
 APPROVED



NOTES

- SEE S-27 FOR INSTALLATION DETAILS.

CITY OF MERCER ISLAND
STANDARD DETAILS
SEWER
CLEAN OUT DETAIL
 6-5-2009 NO SCALE **S-19**
 APPROVED



NOTES

- At marked crosswalks, the connection between the curb ramp and the roadway must be contained within the width of the crosswalk markings.
- Where "GRADE BREAK" is called out, the entire length of the grade break between the two adjacent surface planes shall be flush.
- Do not place Gratings, Junction Boxes, Access Covers, or other appurtenances on any part of the Curb Ramp or Landing, or in front of the Curb Ramp where it connects to the roadway.
- See Contract Plans for the curb design specified. See **Standard Plan F-10.12** for Curb, Curb and Gutter, Depressed Curb and Gutter, and Pedestrian Curb details.
- See **Standard Plan F-30.10** for Cement Concrete Sidewalk Details. See Contract Plans for width and placement of sidewalk.
- The Bid Item "Cement Concrete Curb Ramp Type ___" does not include the adjacent Curb, Curb and Gutter, Depressed Curb and Gutter, Pedestrian Curb, or Sidewalks.
- The Curb Ramp length is not required to exceed 15 feet (unless shown otherwise in the Contract Plans). When applying the 15-foot max. length, the running slope of the Curb Ramp is allowed to exceed 8.3%. Use a single constant slope from bottom of ramp to top of ramp to match into the landing over a horizontal distance of 15 feet. Do not include the abutting landing in the 15-foot max. measurement.
- Curb Ramps and Landings shall receive a broom finish. See **Standard Specifications 8-14**.
- Pedestrian Curb may be omitted if the ground surface at the back of the Curb Ramp and/or Landing will be at the same elevation as the Curb Ramp or Landing and there will not be material to retain.

No.	Date	By	Chk.	Appr.	Revision
2	2/13/25	CMT			REVISED PER SITE REVISIONS
1	2/27/23	CMT			REVISED PER CITY COMMENTS

Notes and Details
2900 DEVELOPMENT
2900 78TH AVE SE
MERCER ISLAND, WA 98040

For:
2900 DEVELOPMENT LLC
2900 78TH AVE SE
MERCER ISLAND, WA 98040

CHRIS M. TERBALDI
 STATE OF WASHINGTON
 REGISTERED PROFESSIONAL ENGINEER
 43524
 2/13/25

CITY OF MERCER ISLAND
STANDARD DETAILS
SEWER
TRENCH DETAIL
 6-5-2009 NO SCALE **S-3**
 APPROVED

CITY OF MERCER ISLAND
STANDARD DETAILS
SEWER
SIDE SEWER CONNECTION AND STUB
 6-5-2009 NO SCALE **S-17**
 APPROVED

CITY OF MERCER ISLAND
STANDARD DETAILS
SEWER
CLEAN OUT DETAIL
 6-5-2009 NO SCALE **S-19**
 APPROVED

DISCONNECTION

WHEN ABANDONING A SIDE SEWER IT SHALL BE DISCONNECTED AT THE MAIN PRIOR TO REMOVAL OF BUILDING FOUNDATIONS. THE CONTRACTOR SHALL PLUG THE CONNECTION AT THE MAIN WITH A MECHANICAL PLUG AND NON-SHRINK GROUT. DISCONNECTION SHALL BE PERFORMED IN THE PRESENCE OF THE CITY'S UTILITY INSPECTOR. THE CONTRACTOR SHALL PROVIDE AN AS-BUILT DRAWING DEPICTING THE DISCONNECTED SIDE SEWER UPON COMPLETION OF THE WORK.

RECONNECTION

WHEN RECONNECTING TO AN EXISTING SIDE SEWER, THE POINT OF RECONNECTION WILL BE DETERMINED BASED ON THE MAGNITUDE OF THE CONSTRUCTION ON THE PROPERTY.

- PARTIAL INTERIOR REMODEL AND/OR BUILDING ADDITION WITH NO ADDITIONAL PLUMBING FIXTURES - NO SIDE SEWER REPLACEMENT REQUIRED UNLESS A KNOWN PROBLEM EXISTS IN THE SIDE SEWER.
- PARTIAL INTERIOR REMODEL AND/OR BUILDING ADDITION WITH ADDITIONAL PLUMBING FIXTURES - ASSESS CONDITION OF EXISTING SIDE SEWER THROUGH VIDEO INSPECTION FROM BUILDING TO PROPERTY LINE AND REPLACE AS NEEDED.
- COMPLETE INTERIOR REMODEL - ASSESS CONDITION OF EXISTING SIDE SEWER THROUGH VIDEO INSPECTION FROM BUILDING TO SEWER MAIN AND REPLACE AS NEEDED. IF EXISTING SIDE SEWER IS ASBESTOS CEMENT OR CONCRETE, SIDE SEWER SHALL BE REPLACED FROM BUILDING TO PROPERTY LINE.*
- COMPLETE INTERIOR REMODEL AND BUILDING ADDITION - NEW SIDE SEWER FROM BUILDING AT LEAST TO PROPERTY LINE.*
- CONSTRUCTION OF A NEW BUILDING - NEW SIDE SEWER FROM BUILDING AT LEAST TO MAIN.*

BACK WATER VALVE INSTALLATION PER CITY ENGINEER, IF SCENARIO 2, 3, 4, OR 5 IS DIRECTLY ATTACHED TO THE LAKE LINE OR THE ELEVATION OF THE LOWEST DRAIN IN THE RESIDENCE IS LOWER THAN THE RIM ELEVATION OF THE UPSTREAM SEWER MANHOLE ON THE MAIN.

VIDEO INSPECTION OF THE EXISTING SIDE SEWER, BETWEEN THE PROPERTY LINE AND THE SEWER MAIN SHALL BE PERFORMED FOR SCENARIO NUMBER 4.

PROVIDE A COPY OF THE VIDEO DOCUMENTATION (VIDEO AND HARDCOPY REPORT) TO THE CITY ENGINEER.

REPLACEMENT OR REPAIR OF THAT PORTION OF THE SIDE SEWER BETWEEN THE PROPERTY LINE AND THE SEWER MAIN, WILL BE DETERMINED BY THE CITY ENGINEER, BASED ON THE VIDEO INSPECTION.

*IF THE EXISTING SIDE SEWER IS PVC AND IS LESS THAN TEN YEARS OLD, THE SIDE SEWER DOES NOT HAVE TO BE REPLACED IF A VIDEO INSPECTION AND HYDROSTATIC PRESSURE TEST CONFIRMS THAT THE SIDE SEWER IS IN PROPER WORKING CONDITION. THESE TESTS SHALL BE PERFORMED AFTER ALL HEAVY EQUIPMENT THAT COULD DAMAGE THE SIDE SEWER IS OFF OF THE SITE.

CITY OF MERCER ISLAND
STANDARD DETAILS
SEWER
COMMERCIAL/MULTI FAMILY SIDE SEWER DISCONNECTION & RECONNECTION
 6-5-2009 NO SCALE **S-22A**
 APPROVED

Job Number
2900

Sheet
C6 of **7**

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(206) 450-5096
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NOTES AND DETAILS

KEY NO.	QUANTITY			MATERIAL
	4"	6"	8"	
1	1	-	-	PRE CAST CONCRETE VAULT AS APPROVED BY THE CITY ENGINEER
1	-	1	-	PRE CAST CONCRETE VAULT AS APPROVED BY THE CITY ENGINEER
1	-	-	1	PRE CAST CONCRETE VAULT AS APPROVED BY THE CITY ENGINEER
1	-	1	-	PRE CAST CONCRETE VAULT AS APPROVED BY THE CITY ENGINEER
1	-	-	1	PRE CAST CONCRETE VAULT AS APPROVED BY THE CITY ENGINEER
1	1	1	1	LW PRODUCTS ALUMINUM, SINGLE DOOR, H-20 OR EQUAL.
2	1	1	1	FABRICATED BOLT-ON LADDER. USE THREE SETS OF MOUNTING BRACKETS ATTACHED TO VAULT WALL WITH 5/8" DIAMETER CORROSION RESISTANT ANCHOR BOLTS (HILT KWIK BOLT, PHILIPS RED HEAD OR APPROVED EQUAL). ALL STEEL FOR LADDER SHALL BE A-36, OSHA APPROVED HOT DIPPED GALVANIZED AFTER FABRICATION. SEE DRAWING NO. W-27C.
3	1	-	-	4" DIAMETER FLEXIBLE FLANGED COUPLING ADAPTER ROCKWELL TYPE 912
3	-	1	-	8" OR 6" DIAMETER FLEXIBLE FLANGED COUPLING ADAPTER ROCKWELL TYPE 912
4	1	-	-	4" O.S. & Y. GATE VALVE U.L. APPROVED
4	-	1	-	8" OR 6" O.S. & Y. GATE VALVE U.L. APPROVED
5	1	-	-	4" D.S.H.S. APPROVED DOUBLE CHECK VALVE ASSEMBLY, INCLUDING 2 O.S. & Y. GATE VALVES, TEST COCK, 3/4" DOUBLE CHECK VALVE, SINGLE OR MULTI JET METER (TO READ IN CUBIC FEET) AND 3/4" BRASS OR COPPER BYPASS WITH IN LINE VALVE.
5	-	1	-	8" OR 6" D.S.H.S. APPROVED DOUBLE CHECK VALVE ASSEMBLY, INCLUDING 2 O.S. & Y. GATE VALVES, TEST COCK, 3/4" DOUBLE CHECK VALVE, SINGLE OR MULTI JET METER (TO READ IN CUBIC FEET) AND 3/4" BRASS OR COPPER BYPASS WITH IN LINE VALVES.
6	1	1	1	3/4" DIAMETER TEST COCKS
7	2	2	2	ADJUSTABLE PIPE SADDLE SUPPORT (IT GRINDEL FIG 264 OR APPROVED EQUAL). ATTACH TO VAULT FLOOR WITH FOUR 1/2" DIAMETER CORROSION RESISTANT ANCHOR BOLTS (HILT KIWI BOLT, PHILIPS RED HEAD OR APPROVED EQUAL). SEE DRAWING NO. W-27C.
8	-	-	-	PEA GRAVEL BACKFILL FOR PIPE BEDDING UNDER PRECAST CONCRETE UTILITY VAULT.
9	-	-	-	4" DIAMETER UNDERDRAIN, CONNECT TO DRAINAGE SYSTEM, SCHEDULE 200 PERFORATED PVC WITH GALVANIZED SCREEN EACH END.
10	-	-	-	4" DIAMETER CL. 52 DUCTILE IRON PIPE
10	-	-	-	6" OR 8" DIAMETER CITY'S 52 DUCTILE IRON PIPE
11	1	1	1	3/4" GATE VALVE U.L. LISTED
12	1	1	1	5/8" x 3/4" ACCULINK MULTINET MASTER METER WITH SENSUS COMPATIBLE MXU READ IN CU. FT. MULTI-JET
13	1	1	1	3/4" DOUBLE CHECK VALVE
14	1	1	1	SOLID PVC PIPE SUMP DRAIN. SIZE PER MANUFACTURER'S RECOMMENDATION. CONNECT TO DRAINAGE STRUCTURE AS APPROVED
15	1	1	1	3/4" "Y" STRAINER

NOTES

- ALL VAULT, BASED AND TOPS TO BE COATED WITH DAMPROOFING.
- SIZE DETERMINED ON BASIS OF ACTUAL FIRE DEMAND.
- SEE W-19A FOR ADDITIONAL DETAILED MATERIAL NOTES.

CITY OF MERCER ISLAND STANDARD DETAILS WATER

MATERIAL LIST

DOUBLE DETECTOR CHECK

7-01-2014 NO SCALE **W-19B** APPROVED

GENERAL NOTES

- SEE W-19B FOR MATERIAL LIST.
- VALVE ASSEMBLY TO BE CENTERED IN VAULT.
- TEE AND GATE VALVE REQUIRED ON MAIN.
- WHEN DOUBLE CHECK VALVE ASSEMBLY IS USED IN SAME LINE WITH DOMESTIC BUILDING METER, METERED DETECTOR BYPASS SHALL BE OMITTED.
- ASSEMBLY TO BE MAINTAINED BY OWNER AND ANNUAL CERTIFICATION IS REQUIRED.
- THE CITY OF MERCER ISLAND MUST TEST AND CERTIFY THE FIRE LINE BEFORE CONNECTION TO THE CITY SYSTEM IS ALLOWED.
- FIRELINE SHALL NOT BE PUT INTO SERVICE UNTIL THE DOUBLE CHECK VALVE ASSEMBLY IS APPROVED BY THE CITY.
- HAULT PENETRATIONS SHALL BE CORE DRILLED.
- A THRUST RING OR APPROVED EQUIVALENT SHALL BE INSTALLED ON INLET SIDE OF PIPE RESTRAINED JOINT.
- MATERIALS FOR BY PASS SHALL BE ALL BRASS AND COPPER WITH SWIVEL COUPLINGS BETWEEN SHUT-OFF VALVES FOR REPLACEMENT.

CITY OF MERCER ISLAND STANDARD DETAILS WATER

DOUBLE DETECTOR CHECK VALVE ASSEMBLY

7-01-2014 NO SCALE **W-19A** APPROVED

NOTES:

- 1-5 1/4" M.V.O. HYDRANT WITH 2-2 1/2" N.T.S. M.J. INLET WITH LUGS, BRASS-TO-BRASS SUB-SEAT AND 1-4 1/2" PLUMBER, SEATTLE STANDARD PIPE THREAD WITH 4" STORZ CONNECTOR ITEM NUMBER PH440-00-004/CAP SIZE 4.875-INCH BY 6-INCH.
- WET TAP IS ALLOWED ONLY UPON CITY'S APPROVAL. NO SIZE ON SIZE WET TAPS.
- NO DOMESTIC CONNECTIONS CAN BE MADE TO THE FIRE HYDRANT RUNS.
- ANY FIRE HYDRANT RUN OVER 18 FEET IN LENGTH OF PIPE SHALL HAVE RESTRAINED JOINT GASKETS.
- USE ROMA GRIP, OR APPROVED EQUAL, PIPE RESTRAINERS AT VALVE AND WHITE PAINT.
- HYDRANT SHALL BE PAINTED WITH 2 COATS OF FARWEST #250 HIGH GLOSS WHITE PAINT, OR APPROVED EQUAL, APPLIED WITH A PAINT BRUSH. DO NOT APPLY PAINT TO STORZ FITTING, BRASS PORT THREADS, OR BELOW SAFETY FLANGE.
- BOLLARDS MAY BE USED TO PROTECT THE HYDRANT ONLY IN PARKING LOTS WHEN NO CURBS ARE PRESENT OR IN EXPOSED AREAS OF PARKING LOTS.
- STRAIGHT PIPE TO HYDRANTS FROM MAIN, NO BENDS.
- REMOVE CHAINS FROM HYDRANT CAPS.
- VALVE AND HYDRANT MUST BE PLUMB.
- THIS DISTANCE IS MEASURED FROM BOTTOM OF SAFETY FLANGE TO LEVEL OF FINISH GRADE BELOW HYDRANT.
- TAPPING SLEEVE O.D. (OUTSIDE DIAMETER) RANGE MUST BE COMMENSURATE WITH PIPE O.D.

CITY OF MERCER ISLAND STANDARD DETAILS WATER

FIRE HYDRANT ASSEMBLY - WET TAP INSTALLATION

02-23-2021 NO SCALE **W-24A** APPROVED

NOTES

- STAINLESS STEEL TAPPING TEES SHALL HAVE FULL CIRCLE SEAL.
- STEEL TAPPING TEES SHALL BE EPOXY COATED.
- NO SIZE ON SIZE TAPS. TAP SHALL BE AT LEAST 2" SMALLER DIAMETER THAN THE EXISTING MAIN.
- TAPPING TEES SHALL BE MULLER OR EQUAL.

CITY OF MERCER ISLAND STANDARD DETAILS WATER

TAPPING TEE

8-12-2009 NO SCALE **W-11** APPROVED

THRUST BLOCKING TABLE

PIPE SIZE	MINIMUM BEARING AREA AGAINST UNDISTURBED SOIL IN SQUARE FEET				
	A	B	C	D	E
4	2	2	2	2	2
6	4	3	2	2	2
8	7	5	4	2	2
10	11	8	6	3	2
12	16	12	9	5	3
14	22	16	12	6	3
16	29	20	16	8	4

NOTES

- ROMAC MJ WEDGE ACTION RETAINER MAY BE SUBSTITUTED FOR VERTICAL BLOCKING UPON PRIOR APPROVAL OF THE CITY ENGINEER.
- CONCRETE THRUST BLOCKING SHALL BE POURED AGAINST UNDISTURBED EARTH.
- THRUST BLOCKS SHALL BE CAST-IN-PLACE AND BE CONSTRUCTED WITH CLASS 3000 OR COMMERCIAL CONCRETE.
- BLOCK SHALL BEAR AGAINST FITTINGS ONLY AND SHALL BE CLEAR OF BOLTS AND JOINTS TO PERMIT TAKING UP OR DISMANTLING JOINT. WRAP FITTINGS WITH 8 MIL THICK POLYETHYLENE SHEETING PRIOR TO POURING CONCRETE.
- BEARING AREA MUST BE ADJUSTED FOR HIGHER INTERNAL PRESSURES AND LOWER SOIL BEARING VALUES.
- THE CONTRACTOR SHALL INSTALL BLOCK WHICH IS ADEQUATE TO WITHSTAND FULL TEST PRESSURE AS WELL AS TO CONTINUOUSLY STAND OPERATING PRESSURE UNDER ALL CONDITIONS OF SERVICE.

CITY OF MERCER ISLAND STANDARD DETAILS WATER

HORIZONTAL CONCRETE BLOCKING

3-30-2021 NO SCALE **W-5A** APPROVED

NOTES

- CALL IN LOCATES TWO BUSINESS DAYS BEFORE YOU DIG. (1-800-424-5555)
- IN RIGHT-OF-WAY USE 100% 5/8 MINUS CRUSHED ROCK FOR BEDDING, PIPE ZONE AND BACKFILL.
- FOUNDATION MATERIAL SHALL BE 1 1/2" MINUS CRUSHED ROCK OR OTHER AGGREGATE AS APPROVED BY CITY ENGINEER.
- GRIND AND OVERLAY LIMITS SHALL EXTEND A MINIMUM OF 10" PAST THE END OF TRENCH AREAS.
- SEAL ALL FINAL PATCHING AND PAVING SEAMS WITH LIQUID ASPHALT, SQUEEGEE OR MOP THE SEALER. COVER WITH DRY SAND.

CITY OF MERCER ISLAND STANDARD DETAILS WATER

TRENCH SECTION

3-29-2021 NO SCALE **W-3** APPROVED

NOTES:

- METER BOX SHALL BE MID-STATES PLASTICS AS SHOWN, WITH A DUCTILE IRON LID WITH A FLIP OR HINGED INSPECTION LID TO INCLUDE A 3/4" PICK HOLE.
- PLASTIC WATER METER BOXES SHALL NOT BE INSTALLED WITHIN A DRIVING OR PARKING AREA.

CITY OF MERCER ISLAND STANDARD DETAILS WATER

1" & 2" PLASTIC WATER METER BOX

12-23-2013 NO SCALE **W-18A** APPROVED

NOTES

- WATER SERVICES SHALL COMPLY WITH THE REDUCTION OF LEAD IN DRINKING WATER ACT DATED 01/04/2014.
- MINIMUM DISTANCE BETWEEN CORP STOPS SHALL BE 18" MINIMUM DISTANCE BETWEEN TAPS, BETWEEN CORP STOP AND PIPE ENDS SHALL BE 24", ALL HORIZONTALLY STAGGERED.
- PLASTIC METER BOXES SHALL NOT BE INSTALLED WITHIN ROADWAY, SIDEWALK, OR DRIVEWAYS.
- UPON CITY ENGINEER'S APPROVAL, METER BOXES ARE ALLOWED TO BE INSTALLED IN PORTLAND CEMENT CONCRETE PAVEMENT OR SIDEWALK.
- WHEN CONNECTING TO EXISTING PRIVATE SUPPLY LINE CONTAINING FERROUS METAL, PROVIDE INSULATING COUPLING (DB SERIES WITH C21 SERIES ADAPTERS) AND PROVIDE REDUCER AS NECESSARY TO MATCH EXISTING PRIVATE SUPPLY LINE DIAMETER.
- SERVICE LINE SHALL BE PERPENDICULAR TO THE WATER MAIN AND STRAIGHT TO WATER METER. UNLESS OTHERWISE APPROVED BY CITY ENGINEER, PROVIDE WINDING SLOAK IN THE SERVICE LINE BETWEEN THE MAIN AND WATER METER.
- WATER METER SUPPLIED BY CITY.
- ALL FITTINGS TO BE BRASS COMPRESSION TYPE, FORD QUICK JOINT OR EQUAL.
- NO SERVICE CONNECTIONS BETWEEN BLOW-OFF AND END OF MAIN.

CITY OF MERCER ISLAND STANDARD DETAILS WATER

2" WATER METER INSTALLATION

02-05-2021 NO SCALE **W-14A** APPROVED

Revised Per Site Comments

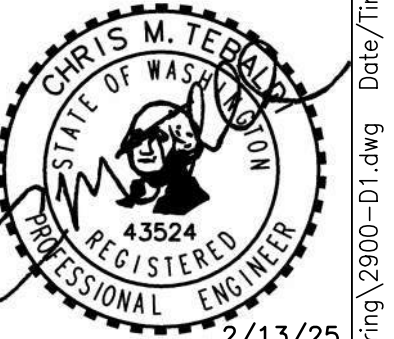
No.	Date	By	Clk.	Appr.
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1	2/27/23	CMT	CMT	CMT

Notes and Details

2900 DEVELOPMENT
2900 78TH AVE SE
MERCER ISLAND, WA 98040

For:

2900 DEVELOPMENT LLC
2900 78TH AVE SE
MERCER ISLAND, WA 98040



Scale:

Horizontal	N/A
Vertical	N/A

Designed: CMT
Drawn: CMT
Checked: CMT
Approved: CMT
Date: 6/10/22

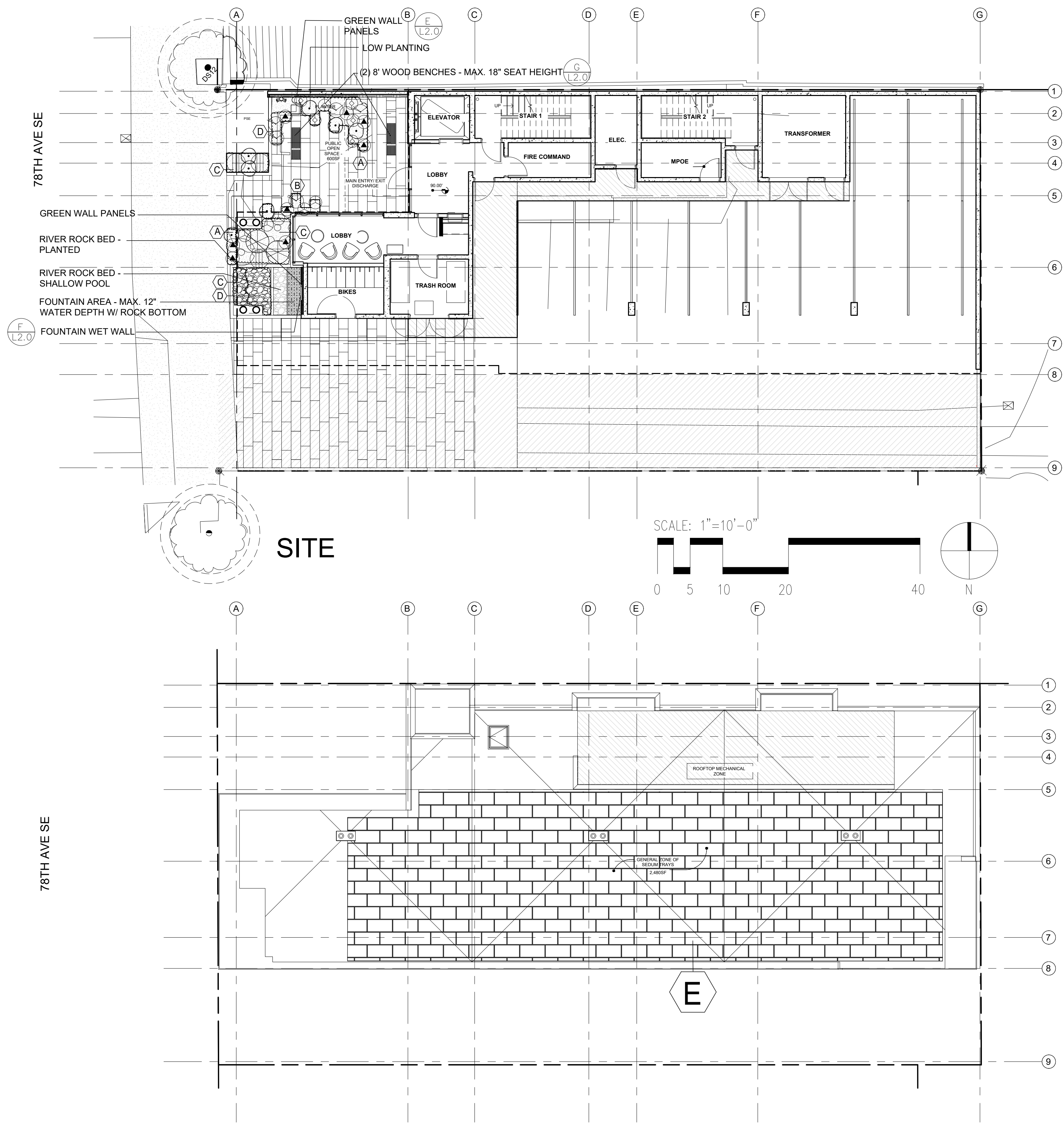
P.O. BOX 121
SUMNER, WA 98390
(206) 450-5096
TEBALDIENGINEERING.COM

CITY OF MERCER ISLAND STANDARD DETAILS WATER

2" WATER METER INSTALLATION

02-05-2021 NO SCALE **W-14A** APPROVED

Job Number: 2900
Sheet: C7 of 7



PLANTING SCHEDULE:

SYMBOL	BOTANICAL NAME/ COMMON NAME	SIZE AT PLANTING	QTY.	NATIVE/ ADAPTIVE
TREES				
	INDICATES EXISTING SIGNIFICANT TREE AND CRITICAL ROOT ZONE AT CANOPY EDGE - SAVE AND PROTECT.			
SHRUBS				
	SARCOCOCCA RUSIFOLIA / SARCOCOCCA	24" HT., 5-GAL POT	2	YES
	SKIMMIA JAPONICA / SKIMMIA	24" HT., 5-GAL POT	2	YES
	MAHONIA NERVOSA/ LONG-LEAF MAHONIA	12" HT., 2-GAL POT MAX. HT. 20"	6	YES
	BLECHNUM SPICANT / DEER FERN	18" HT., 1-GAL POT	3	YES
	CORNUS STOLONIFERA 'KELSEYI'/DWARF RED-TWIG	12" HT., 2-GAL POT MAX. HT. 20"	5	YES
	AQUILEGIA FORMOSA / WESTERN COLUMBINE	12" HT., 1-GAL POT MAX. HT. 18"	7	YES
	LIRIOPE MUSCARI / BIG BLUE LILY TURF	12" HT., 1-GAL POT MAX. HT. 18"	8	NO
	PENNISETUM ALOPECUROIDES 'HAMELN' / FOUNTAIN GRASS	12" HT., 2-GAL POT MAX. HT. 20"	5	YES
GREEN WALL PLANTS				
	GALAX URCEOLATA	GSKY STANDARD GREEN WALL PANEL		YES
	ADIATUM ALEUTICUM / WESTERN MAIDENHAIR FERN	GSKY STANDARD GREEN WALL PANEL		YES
	ASARUM CAUDATUM / WILD GINGER	GSKY STANDARD GREEN WALL PANEL		YES
	IRIS TECTORUM / ROOF IRIS	GSKY STANDARD GREEN WALL PANEL		NO
GROUNDCOVERS				
	LIRIOPE SPICAPA / CREEPING LILY TURF	4-INCH POT	1'-0" O.C.	NO
	CORNUS CANADENSIS / BUNCHBERRY	4-INCH POT	1'-0" O.C.	YES
	GAULTHERIA OVATIFOLIA /	4-INCH POT	1'-0" O.C.	YES
	GALIUM ODORATUM / SWEET WOODRUFF	4-INCH POT	1'-0" O.C.	YES
	SEDUM DIVERGENS / STONECROP, MIX OF THREE VARIETIES	2'X4'X4-1/2" DEEP GREENROOF TRAYS	2,480 S.F.	YES

NOTES

- ALL NEW PLANTING SHALL BE INSTALLED AS PER CITY OF MERCER ISLAND INSTALLATION STANDARDS AND PLANS.
- ALL NEW ON-GRADE PLANTING AREAS SHALL RECEIVE MINIMUM 12" OF IMPORTED TOPSOIL TILLED INTO THE TOP 12" AND MINIMUM 2" OF BARK MULCH.
- ALL NEW PLANTING AREAS SHALL BE IRRIGATED BY AUTOMATIC IRRIGATION SYSTEM WITH RAIN SHUT OFF DEVICE.
- PROPOSED APARTMENT BUILDING WILL BE PERMITTED UNDER A SEPARATE BUILDING PERMIT.

JGM
LANDSCAPE ARCHITECTS
INCORPORATED P.S.
LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING
PARKS AND RECREATION PLANNING
12610 NE 104TH ST.
KIRKLAND WA 98033
PH: 425.454.5723
FX: 425.822.3525
E: jgm@jgm-inc.com

2900 78TH AVE. S.E.
MERCER ISLAND, WA
98040

REVISIONS/DRAWING ISSUES:

Drawn by: CL
Checked by: CL

STATE OF WASHINGTON
REGISTERED
LANDSCAPE ARCHITECT
Lain D. Rees
CERTIFICATE NO. 442

DATE: 2-14-2025
LAST UPDATE:
CAD FILE:

DRAWING TITLE

PLANTING PLAN

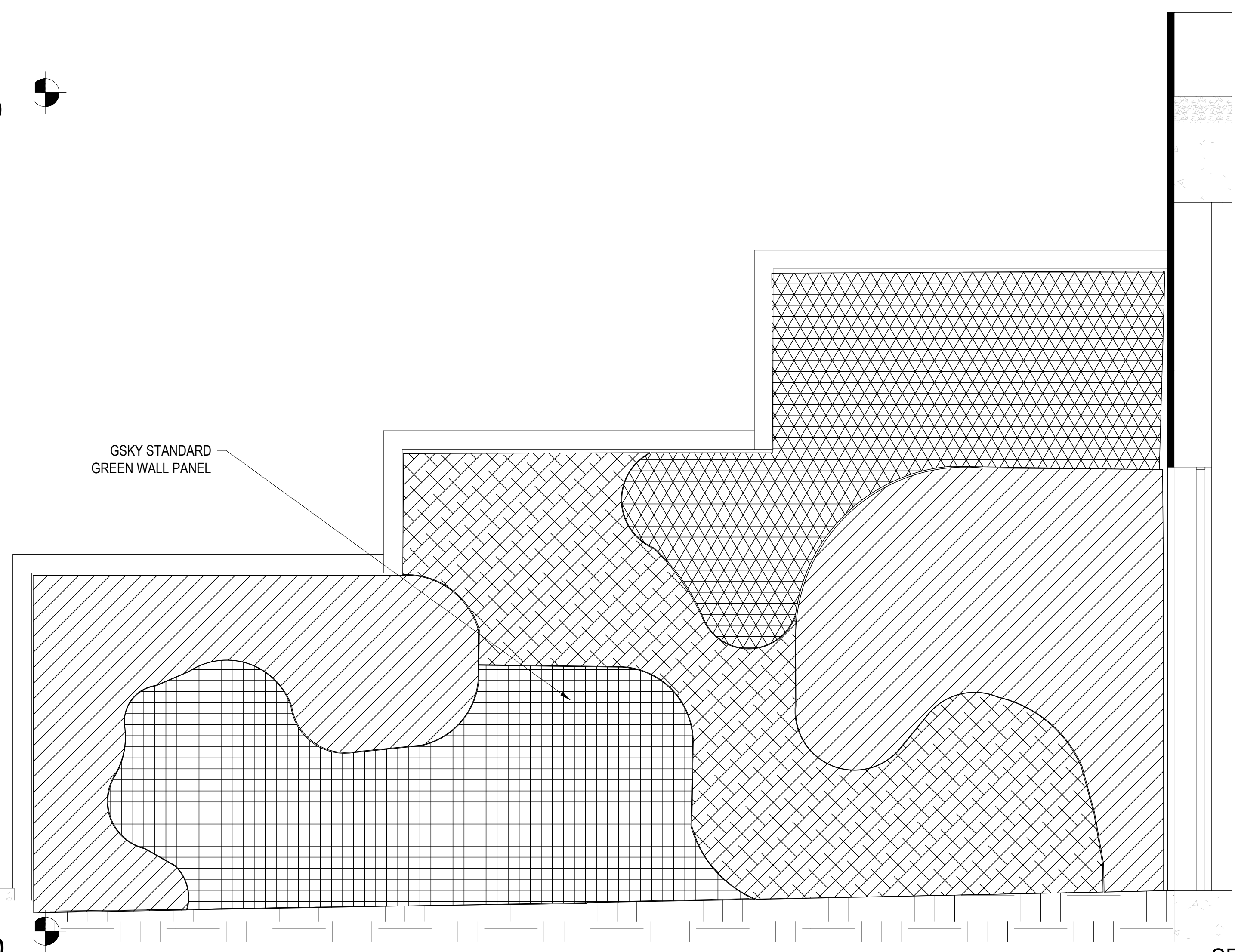
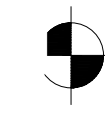
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2900 78TH AVE. S.E.
 MERCER ISLAND, WA
 98040

REVISIONS/DRAWING ISSUES:

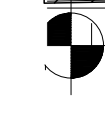
Drawn by: CL
 Checked by: CL

LEVEL 2
 105.00



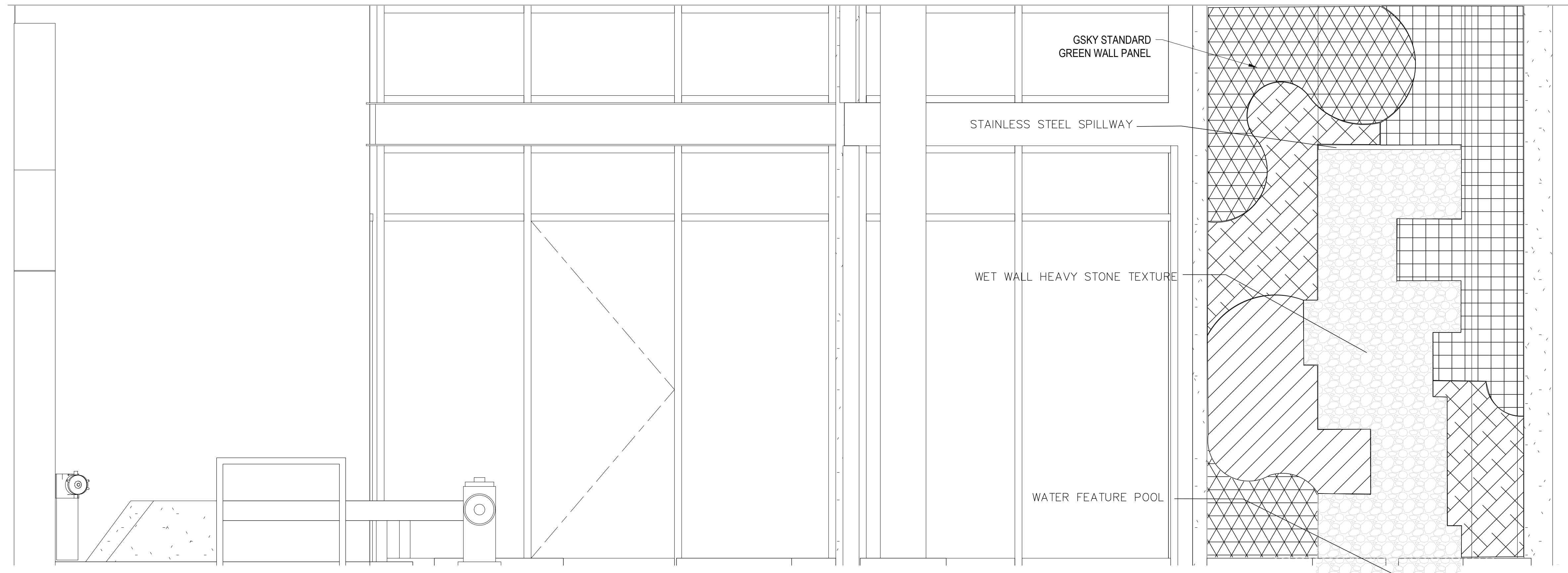
**NORTH GREEN WALL
 PLANTING ELEVATION**

LEVEL 1
 90.00



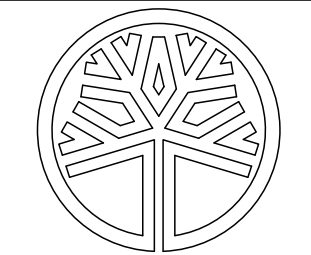
SEE SHEET L1.0 FOR
 PLANT SCHEDULE

NOT TO SCALE



**WEST GREEN WALL
 PLANTING ELEVATION**

NOT TO SCALE



STATE OF
 WASHINGTON
 REGISTERED
 LANDSCAPE ARCHITECT
Lucy D. Klein
 CERTIFICATE NO. 442

DATE: 2-14-2025

LAST UPDATE:

CAD FILE:

DRAWING TITLE

**PLANTING
 ELEVATIONS**

SHEET NUMBER

L1.1

REGISTRATION:

PRELIMINARY

INTAKE DATE: 2/20/2025

REVISIONS:	DATE:
1 CORRECTIONS	4/19/2023

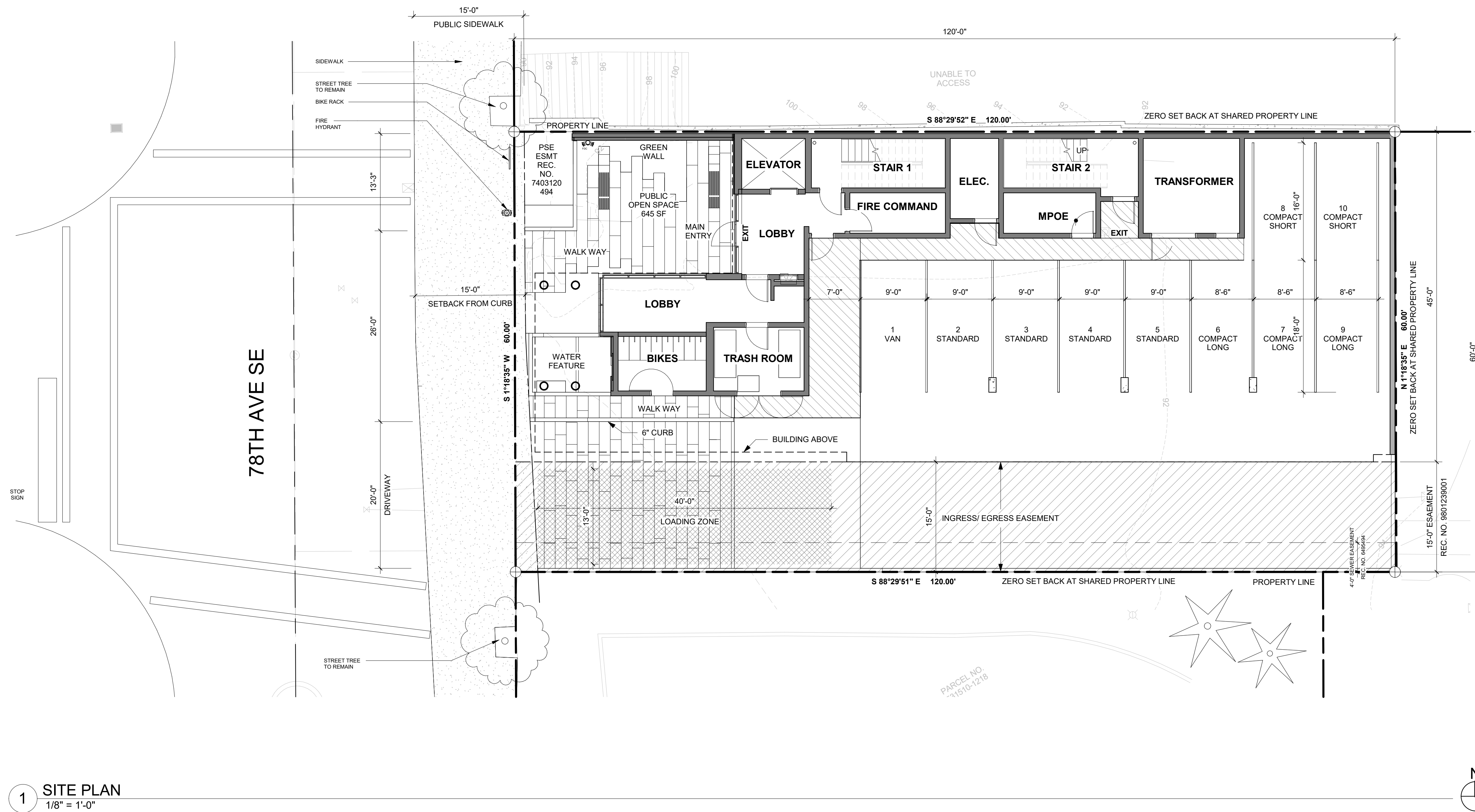
PROJECT / CLIENT:

2900 78TH AVE SE

2900 Development LLC

JOB ADDRESS:

2900 78TH AVE SE
MERCER ISLAND, 98040



1 SITE PLAN
1/8" = 1'-0"

DRAWING NAME:

SITE PLAN

Drawn By: KH

Checked By: ST

Owner Approval:

PHASE:

BUILDING STUDY SESSION PLAN SET

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APPROVED FOR CONSTRUCTION:

PROJECT No.: A24 108

DATE: 2/20/2025
10:50:08 AM

PLOT SCALE: 1:1

A1.0

REGISTRATION:

PRELIMINARY

INTAKE DATE: 2/20/2025

REVISIONS: DATE:

NO.	DESCRIPTION	DATE

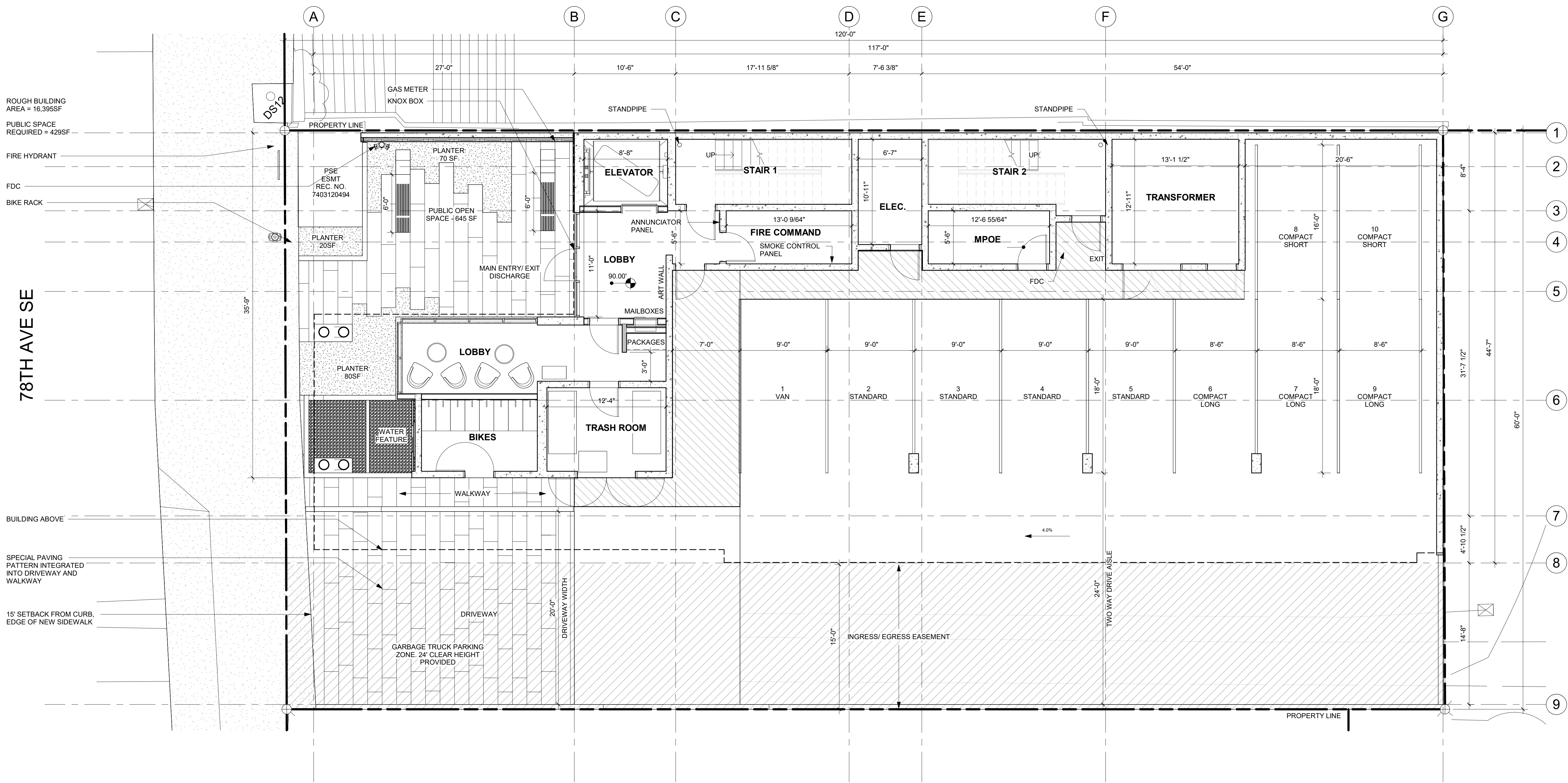
PROJECT / CLIENT:

2900 78TH AVE SE

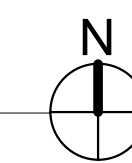
2900 Development LLC

JOB ADDRESS:

2900 78TH AVE SE
MERCER ISLAND, 98040



1 FLOOR PLAN - LEVEL 1
3/16" = 1'-0"



FLOOR PLAN NOTES

- CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION.
- SEE STRUCTURAL DRAWINGS FOR ALL POSTS, BEAMS AND HEADERS.
- PROVIDE SOLID BLOCKING OVER SUPPORTS.
- PROVIDE FIRE BLOCKING @ ALL PLUMBING PENETRATIONS.
- WINDOWS & DOORS ARE SHOWN & NOTED AS NOMINAL SIZES.
- DOOR JAMB 4.5" FROM CORNER TYP. U.N.O.
- SEE SHEETS A0.3, A4.0 & A4.1 FOR WINDOW & DOOR HEADER HEIGHTS ABOVE FINISHED FLOOR.
- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
- EXTERIOR WALLS TO BE 2x6 STUDS @ 16" O.C. U.N.O.
- INSTALL SIMPSON CONC. TO WOOD HOLDDOWNS PER STRUCTURAL DRAWINGS. ALSO SEE MANUFACTURER'S SPECS.
- SMOKE & CARBON MONOXIDE DETECTORS:
 - SHALL BE 110V INTERCONNECTED W/ BATTERY BACKUP.
 - SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING ROOMS.
 - SHALL BE INSTALLED ON EACH FLOOR AND IN ALL BEDROOMS.
 - SHALL BE INSTALLED IN EACH LOCATION WHERE THERE IS A CEILING CHANGE OF GREATER THAN 24"
- FRESH AIR PROVIDED BY WHOLE-HOUSE EXHAUST FAN WITH FRESH AIR PORT (NET 4 SF IN MIN. OPENING) AT EACH HABITABLE ROOM. A TIMER OPERATES AN EXHAUST FAN WHICH PULLS OUTSIDE AIR THROUGH AIR INLETS LOCATED IN EACH HABITABLE ROOM.
- LIMITING DEVICE FOR TUBS TO PROVIDE MAX. 120°F HOT WATER TEMPERATURE.
- FOOTINGS SHALL BEAR ON SOLID UNDISTURBED EARTH (CONTROLLED, COMPACTED STRUCTURAL FILL OR BOTH). DEPTH OF FOOTINGS TO BE DETERMINED BY STRUCTURAL ENGINEER. FOUNDATION EXCAVATION, BACKFILL AND COMPACTION SHALL CONFORM TO SPECIFICATION REQUIREMENTS. THIS CONSTRUCTION WORK, INCLUDING DRAINAGE, SHORING AND SUCH OTHER RELATED WORK AS REQUIRED, SHALL BE CONDUCTED BY THE CONTRACTOR. STOP WORK IF RECOMMENDED EXCAVATION CUT OR BEARING SOIL CHANGES OCCUR IN EITHER HORIZONTAL OR VERTICAL DIRECTION AND NOTIFY IMMEDIATELY THE GEOTECHNICAL ENGINEER AND STRUCTURAL ENGINEER. AT WHICH POINT THE ENGINEERS SHALL DETERMINE CAUSE OF DISPLACEMENT AND DEVELOP AND IMPLEMENT REMEDIAL MEASURES.

DRAWING NAME:

FLOOR PLAN - LEVEL 1

Drawn By: KH

Checked By: ST

Owner Approval:

PHASE:

BUILDING STUDY SESSION PLAN SET

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APPROVED FOR CONSTRUCTION:

PROJECT No.: A24 108

DATE: 2/20/2025

10:50:08 AM

PLOT SCALE: 1:1

A2.0

REGISTRATION:

PRELIMINARY

INTAKE DATE: 2/20/2025

REVISIONS:	DATE:

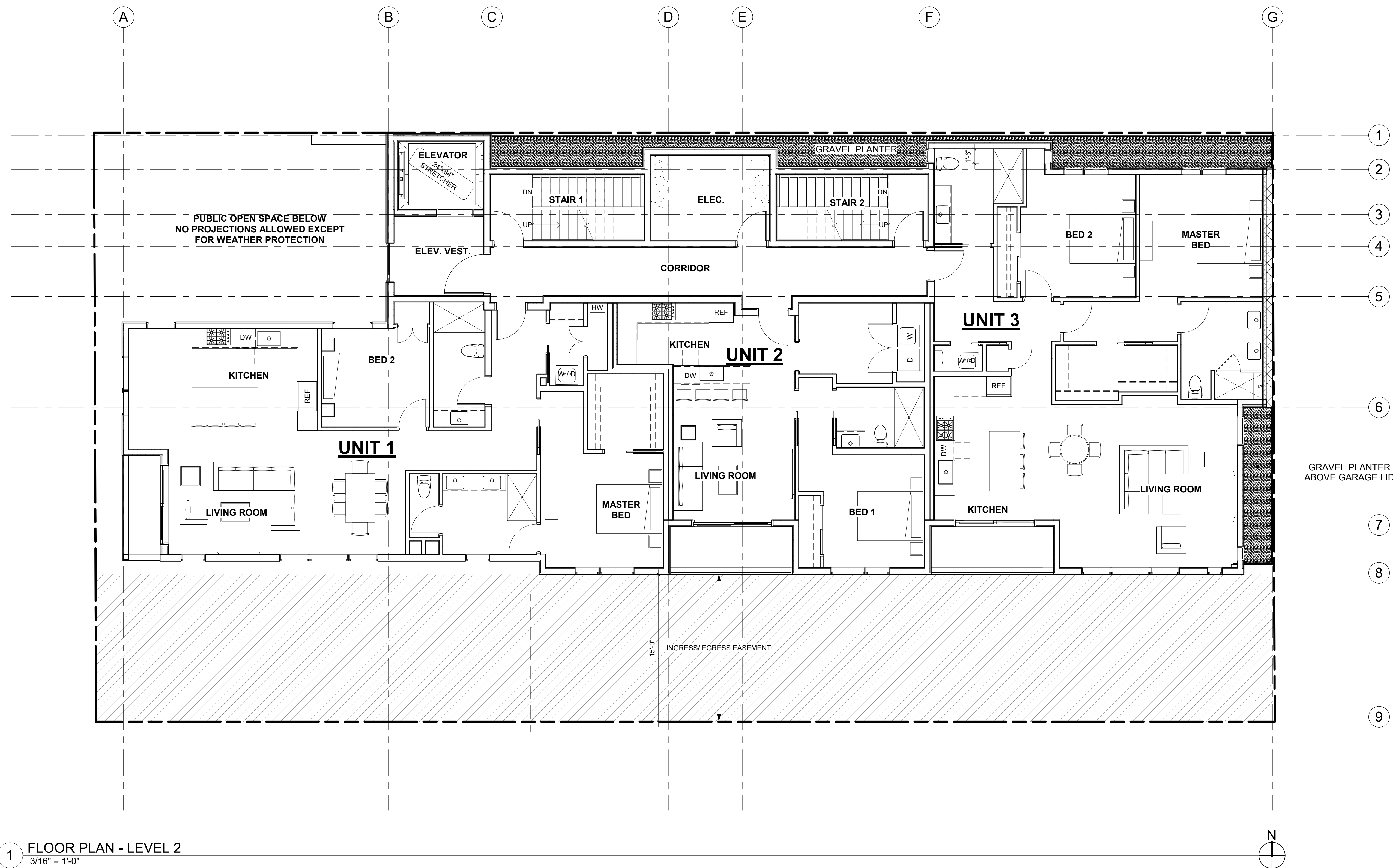
PROJECT / CLIENT:

2900 78TH AVE SE

2900 Development LLC

JOB ADDRESS:

2900 78TH AVE SE
 MERCER ISLAND, 98040



1 FLOOR PLAN - LEVEL 2
 3/16" = 1'-0"



FLOOR PLAN NOTES

- CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION.
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- PROVIDE FIRE BLOCKING @ ALL PLUMBING PENETRATIONS.
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- SMOKE & CARBON MONOXIDE DETECTORS:
 - SHALL BE 110V INTERCONNECTED W/ BATTERY BACKUP.
 - SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING ROOMS.
 - SHALL BE INSTALLED ON EACH FLOOR AND IN ALL BEDROOMS.
 - SHALL BE INSTALLED IN EACH LOCATION WHERE THERE IS A CEILING CHANGE OF GREATER THAN 24"
- FRESH AIR PROVIDED BY WHOLE-HOUSE EXHAUST FAN WITH FRESH AIR PORT (NET 4 SF IN MIN. OPENING) AT EACH HABITABLE ROOM. A TIMER OPERATES AN EXHAUST FAN WHICH PULLS OUTSIDE AIR THROUGH AIR INLETS LOCATED IN EACH HABITABLE ROOM.
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DRAWING NAME:

FLOOR PLAN - LEVEL 2

Drawn By: KH

Checked By: ST

Owner Approval:

PHASE:

BUILDING STUDY SESSION PLAN SET

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APPROVED FOR CONSTRUCTION:

PROJECT No.: A24 108

DATE: 2/20/2025

10:50:09 AM

PLOT SCALE: 1:1

A2.1

REGISTRATION:

PRELIMINARY

INTAKE DATE: 2/20/2025

REVISIONS:	DATE:

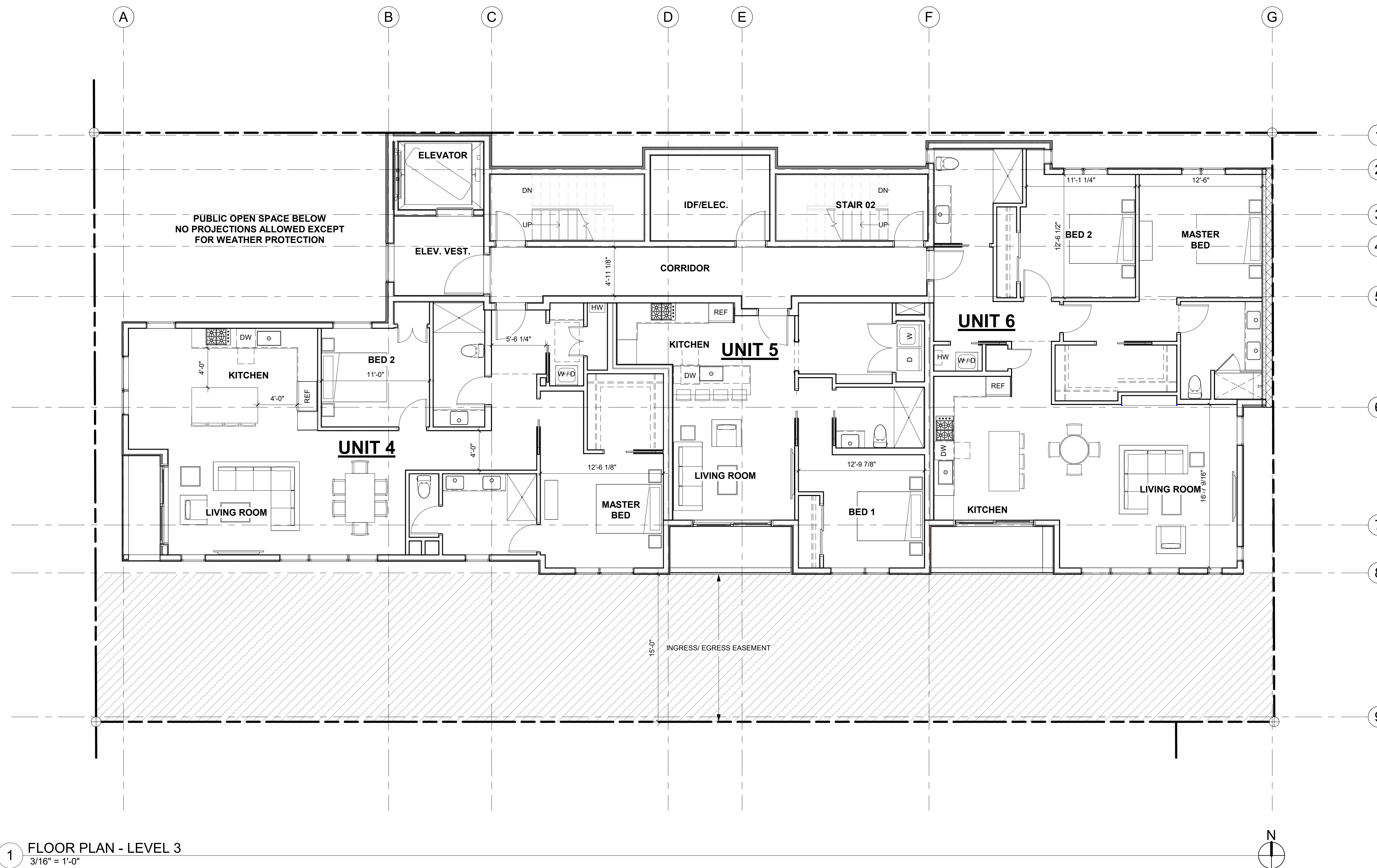
PROJECT / CLIENT:

2900 78TH AVE SE

2900 Development LLC

JOB ADDRESS:

2900 78TH AVE SE
 MERCER ISLAND, 98040



1 FLOOR PLAN - LEVEL 3
 3/16" = 1'-0"



FLOOR PLAN NOTES

- CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION.
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- PROVIDE FIRE BLOCKING @ ALL PLUMBING PENETRATIONS.
- WINDOWS & DOORS ARE SHOWN & NOTED AS NOMINAL SIZES.
- DOOR JAMB 4.5" FROM CORNER TYP. U.N.O.
- SEE SHEETS A0.3, A4.0 & A4.1 FOR WINDOW & DOOR HEADER HEIGHTS ABOVE FINISHED FLOOR.
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- EXTERIOR WALLS TO BE 2x6 STUDS @ 16" O.C. U.N.O.
- INSTALL SIMPSON CONC. TO WOOD HOLD-DOWNS PER STRUCTURAL DRAWINGS. ALSO SEE MANUFACTURER'S SPECS.
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 - SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING ROOMS.
 - SHALL BE INSTALLED ON EACH FLOOR AND IN ALL BEDROOMS.
 - SHALL BE INSTALLED IN EACH LOCATION WHERE THERE IS A CEILING CHANGE OF GREATER THAN 24"
- FRESH AIR PROVIDED BY WHOLE-HOUSE EXHAUST FAN WITH FRESH AIR PORT (NET 4 SF IN MIN. OPENING) AT EACH HABITABLE ROOM. A TIMER OPERATES AN EXHAUST FAN WHICH PULLS OUTSIDE AIR THROUGH AIR INLETS LOCATED IN EACH HABITABLE ROOM.
- LIMITING DEVICE FOR TUBS TO PROVIDE MAX. 120°F HOT WATER TEMPERATURE.
- FOOTINGS SHALL BEAR ON SOLID UNDISTURBED EARTH (CONTROLLED, COMPACTED STRUCTURAL FILL OR BOTH). DEPTH OF FOOTINGS TO BE DETERMINED BY STRUCTURAL ENGINEER. FOUNDATION EXCAVATION, BACKFILL AND COMPACTION SHALL CONFORM TO SPECIFICATION REQUIREMENTS. THIS CONSTRUCTION WORK, INCLUDING DRAINAGE, SHORING AND SUCH OTHER RELATED WORK AS REQUIRED, SHALL BE CONDUCTED BY THE CONTRACTOR. STOP WORK IF RECOMMENDED EXCAVATION CUT OR BEARING SOIL CHANGES OCCUR IN EITHER HORIZONTAL OR VERTICAL DIRECTION AND NOTIFY IMMEDIATELY THE GEOTECHNICAL ENGINEER AND STRUCTURAL ENGINEER. AT WHICH POINT THE ENGINEERS SHALL DETERMINE CAUSE OF DISPLACEMENT AND DEVELOP AND IMPLEMENT REMEDIAL MEASURES.

DRAWING NAME:

FLOOR PLAN - LEVEL 3

Drawn By: KH

Checked By: ST

Owner Approval:

PHASE:

BUILDING STUDY SESSION PLAN SET

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APPROVED FOR CONSTRUCTION:

PROJECT No.: A24 108

DATE: 2/20/2025
 10:50:09 AM

PLOT SCALE: 1:1

A2.2

REGISTRATION:

PRELIMINARY

INTAKE DATE: 2/20/2025

REVISIONS: DATE:

NO.	DESCRIPTION	DATE

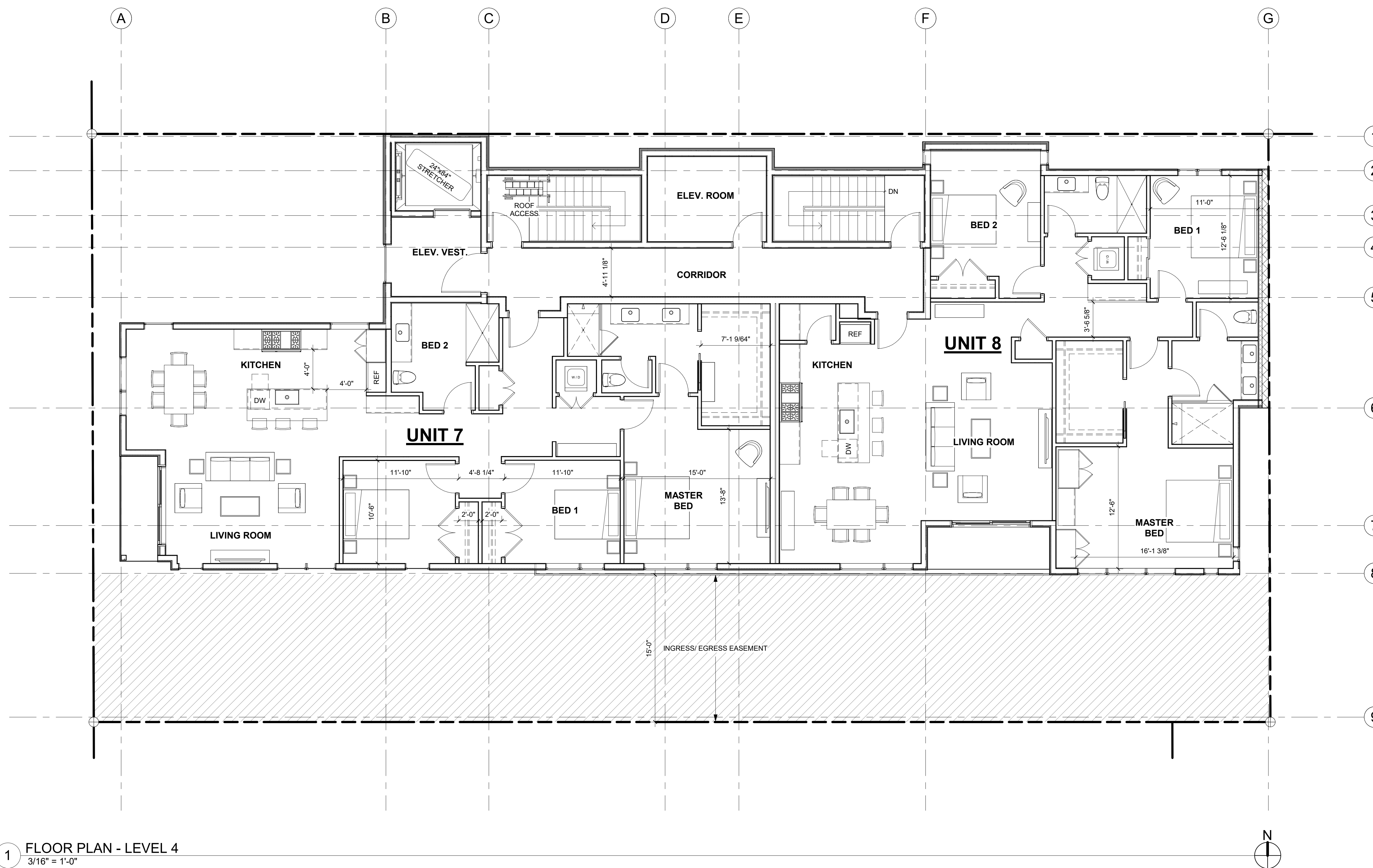
PROJECT / CLIENT:

2900 78TH AVE SE

2900 Development LLC

JOB ADDRESS:

2900 78TH AVE SE
 MERCER ISLAND, 98040



1 FLOOR PLAN - LEVEL 4
 3/16" = 1'-0"



FLOOR PLAN NOTES

- CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION.
- SEE STRUCTURAL DRAWINGS FOR ALL POSTS, BEAMS AND HEADERS.
- PROVIDE SOLID BLOCKING OVER SUPPORTS.
- PROVIDE FIRE BLOCKING @ ALL PLUMBING PENETRATIONS.
- WINDOWS & DOORS ARE SHOWN & NOTED AS NOMINAL SIZES.
- DOOR JAMB 4.5" FROM CORNER TYP. U.N.O.
- SEE SHEETS A0.3, A4.0 & A4.1 FOR WINDOW & DOOR HEADER HEIGHTS ABOVE FINISHED FLOOR.
- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
- EXTERIOR WALLS TO BE 2x6 STUDS @ 16" O.C. U.N.O.
- INSTALL SIMPSON CONC. TO WOOD HOLDDOWNS PER STRUCTURAL DRAWINGS. ALSO SEE MANUFACTURER'S SPECS.
- SMOKE & CARBON MONOXIDE DETECTORS:
 - SHALL BE 110V INTERCONNECTED W/ BATTERY BACKUP.
 - SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING ROOMS.
 - SHALL BE INSTALLED ON EACH FLOOR AND IN ALL BEDROOMS.
 - SHALL BE INSTALLED IN EACH LOCATION WHERE THERE IS A CEILING CHANGE OF GREATER THAN 24"
- FRESH AIR PROVIDED BY WHOLE-HOUSE EXHAUST FAN WITH FRESH AIR PORT (NET 4 SF IN MIN. OPENING) AT EACH HABITABLE ROOM. A TIMER OPERATES AN EXHAUST FAN WHICH PULLS OUTSIDE AIR THROUGH AIR INLETS LOCATED IN EACH HABITABLE ROOM.
- LIMITING DEVICE FOR TUBS TO PROVIDE MAX. 120°F HOT WATER TEMPERATURE.
- FOOTINGS SHALL BEAR ON SOLID UNDISTURBED EARTH (CONTROLLED, COMPACTED STRUCTURAL FILL OR BOTH). DEPTH OF FOOTINGS TO BE DETERMINED BY STRUCTURAL ENGINEER. FOUNDATION EXCAVATION, BACKFILL AND COMPACTION SHALL CONFORM TO SPECIFICATION REQUIREMENTS. THIS CONSTRUCTION WORK, INCLUDING DRAINAGE, SHORING AND SUCH OTHER RELATED WORK AS REQUIRED, SHALL BE CONDUCTED BY THE CONTRACTOR. STOP WORK IF RECOMMENDED EXCAVATION CUT OR BEARING SOIL CHANGES OCCUR IN EITHER HORIZONTAL OR VERTICAL DIRECTION AND NOTIFY IMMEDIATELY THE GEOTECHNICAL ENGINEER AND STRUCTURAL ENGINEER. AT WHICH POINT THE ENGINEERS SHALL DETERMINE CAUSE OF DISPLACEMENT AND DEVELOP AND IMPLEMENT REMEDIAL MEASURES.

DRAWING NAME:

FLOOR PLAN - LEVEL 4

Drawn By: KH

Checked By: ST

Owner Approval:

PHASE:

BUILDING STUDY SESSION PLAN SET

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APPROVED FOR CONSTRUCTION:

PROJECT No.: A24 108

DATE: 2/20/2025

10:50:10 AM

PLOT SCALE: 1:1

A2.3

REGISTRATION:

PRELIMINARY

INTAKE DATE: 2/20/2025

REVISIONS:	DATE:

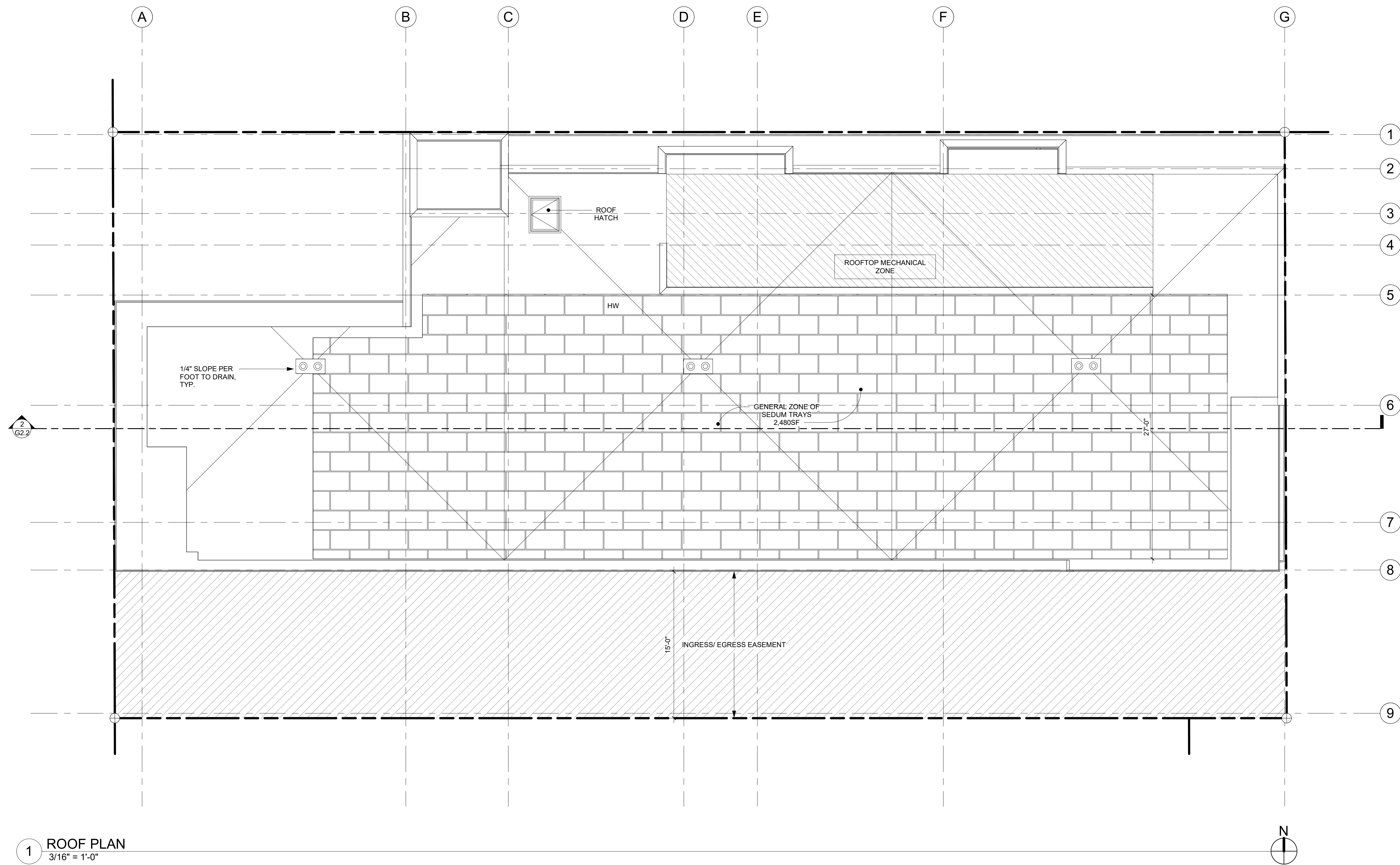
PROJECT / CLIENT:

2900 78TH AVE SE

2900 Development LLC

JOB ADDRESS:

2900 78TH AVE SE
 MERCER ISLAND, 98040



1 ROOF PLAN
 3/16" = 1'-0"

DRAWING NAME:

ROOF PLAN

Drawn By: KH

Checked By: ST

Owner Approval:

PHASE:

BUILDING STUDY SESSION PLAN SET

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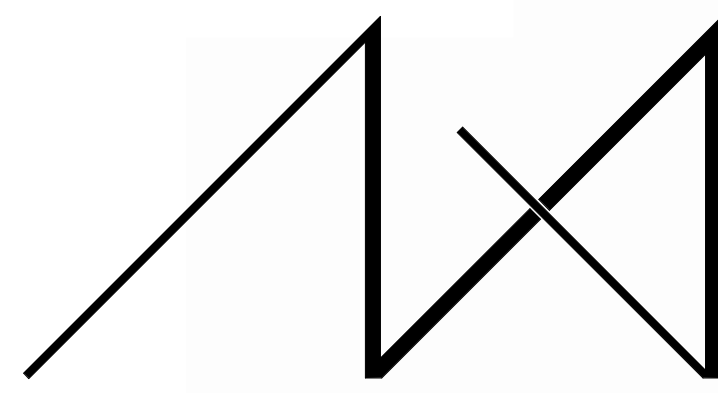
APPROVED FOR CONSTRUCTION:

PROJECT No.: A24 108

DATE: 2/20/2025
 10:50:10 AM

PLOT SCALE: 1:1

A2.4



MEDICI ARCHITECTS

11711 SE 8TH STREET SUITE 100 BELLEVUE, WA 98005 TEL: (425) 453-9298
200 W. RIVER ST. SUITE 301 KETCHUM, ID 83340 TEL: (208) 726-0194

REGISTRATION:

PRELIMINARY

INTAKE DATE: 2/20/2025

REVISIONS:	DATE:

PROJECT / CLIENT:

2900 78TH AVE SE

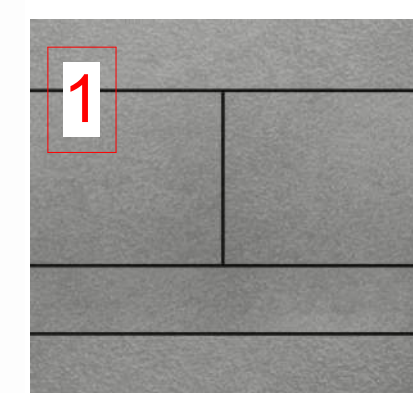
2900 Development LLC

JOB ADDRESS:

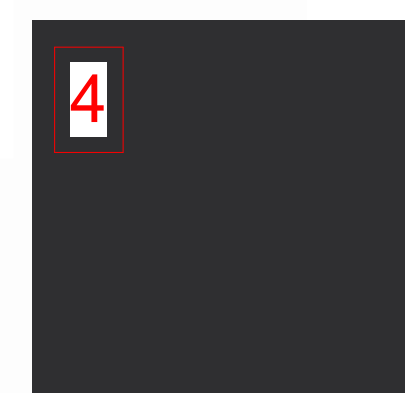
2900 78TH AVE SE
MERCER ISLAND, 98040



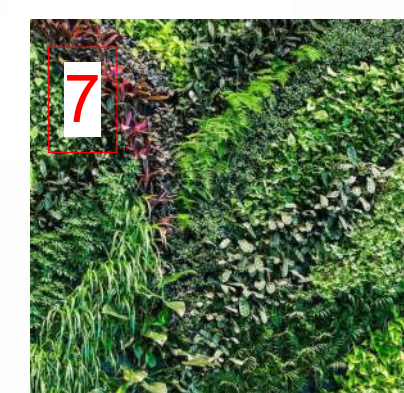
1 SOUTH ELEVATION
1/4" = 1'-0"



EQUITONE LUNARA LA 20 OR SIMILAR
EXTERIOR SIDING PANEL



POWDER COATED METAL SHERWIN WILLIAMS SW 6258 - TRICORN BLACK



LIVING GREEN WALL
VARIED SPECIES OF PLANTING WITH INTEGRATED IRRIGATION SYSTEM

GENERAL NOTE:
FOR ITEMS BELOW, MATCH SW 6258

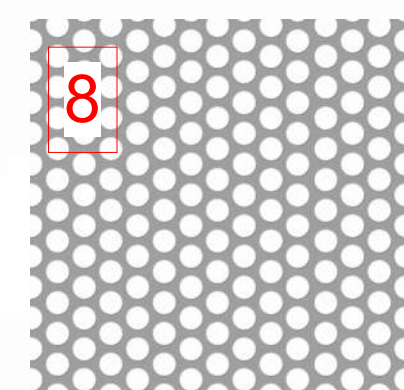
STRUCTURAL COLUMNS
ALUMINUM STOREFRONT SYSTEM
WINDOW AND DOOR FRAMES
RAILINGS
METAL AWNING
EXTERIOR DOORS
STEEL PLATES
LIGHT FIXTURES
GUTTERS / DOWNSPOUTS
FLASHING



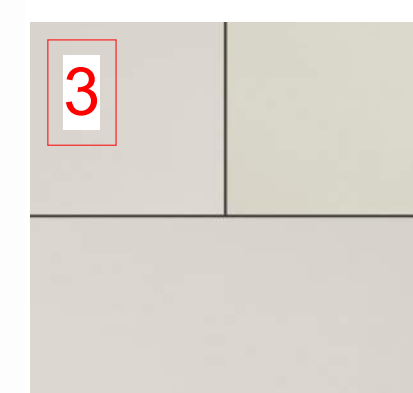
BLACK METAL PANEL ACCENTS
COLOR TO MATCH SHERWIN WILLIAMS SW 6258 TRICORN BLACK



NICHIHA VINTAGE WOOD CEDAR
EXTERIOR SIDING PANEL



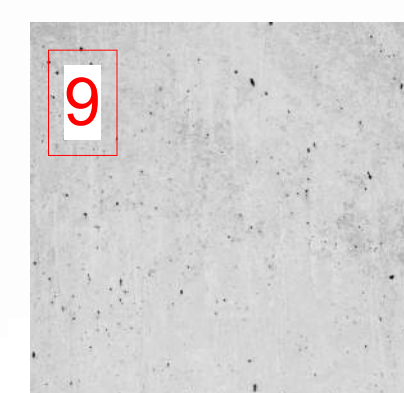
MOZ DESIGNS PERFORATED METAL PANEL WITH 1" CICLES OR SIMILAR
BALCONY GUARDRAILS



EQUITONE TECHTIVA TE 90 OR SIMILAR
EXTERIOR SIDING PANEL



BOARD FORM CONCRETE FITZGERALD 16917
BUILDING BASE AT LOBBY AND TRASH ROOM



CAST IN PLACE CONCRETE
PARKING GARAGE WALLS
STRUCTURAL COLUMNS

MATERIALS
NTS

DRAWING NAME:

ELEVATION - SOUTH

Drawn By: MF

Checked By: NR

Owner Approval:

PHASE:

BUILDING STUDY SESSION PLAN SET

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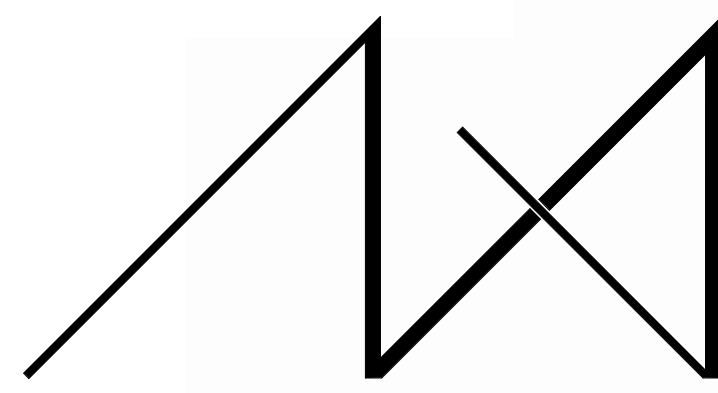
APPROVED FOR CONSTRUCTION:

PROJECT No.: A24 108

DATE: 2/20/2025
10:50:13 AM

PLOT SCALE: 1:1

A4.0



MEDICI ARCHITECTS

11711 SE 8TH STREET SUITE 100 BELLEVUE, WA 98005 TEL: (425) 453-9298
200 W. RIVER ST. SUITE 301 KETCHUM, ID 83340 TEL: (208) 726-0194

REGISTRATION:

PRELIMINARY

INTAKE DATE: 2/20/2025

REVISIONS:	DATE:

PROJECT / CLIENT:

2900 78TH AVE SE

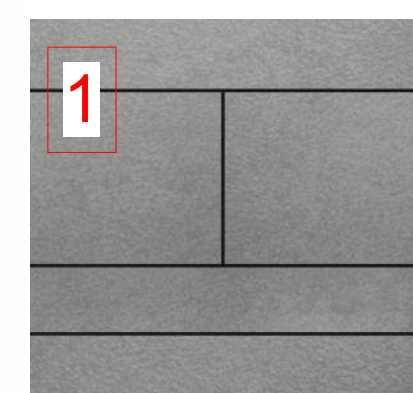
2900 Development LLC

JOB ADDRESS:

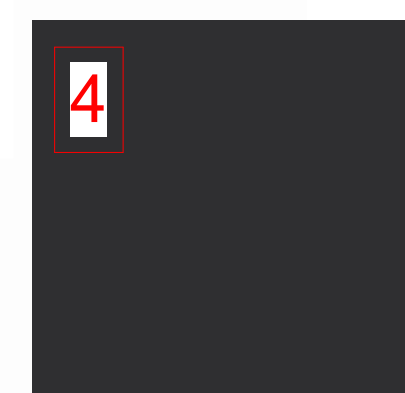
2900 78TH AVE SE
MERCER ISLAND, 98040



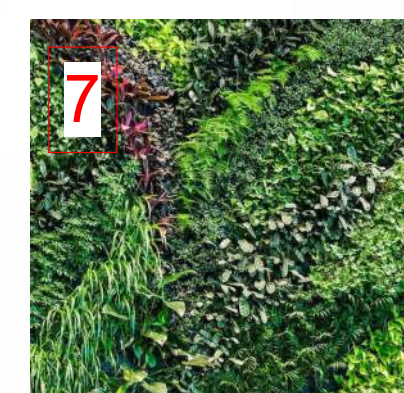
1 NORTH ELEVATION
1/4" = 1'-0"



EQUITONE LUNARA LA 20 OR SIMILAR
EXTERIOR SIDING PANEL



POWDER COATED METAL SHERWIN WILLIAMS SW 6258 - TRICORN BLACK



LIVING GREEN WALL
VARIED SPECIES OF PLANTING WITH INTEGRATED IRRIGATION SYSTEM

GENERAL NOTE:
FOR ITEMS BELOW, MATCH SW 6258

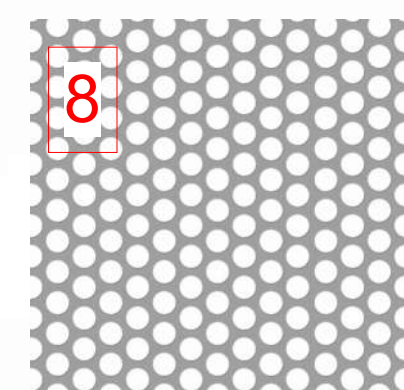
STRUCTURAL COLUMNS
ALUMINUM STOREFRONT SYSTEM
WINDOW AND DOOR FRAMES
RAILINGS
METAL AWNING
EXTERIOR DOORS
STEEL PLATES
LIGHT FIXTURES
GUTTERS / DOWNSPOUTS
FLASHING



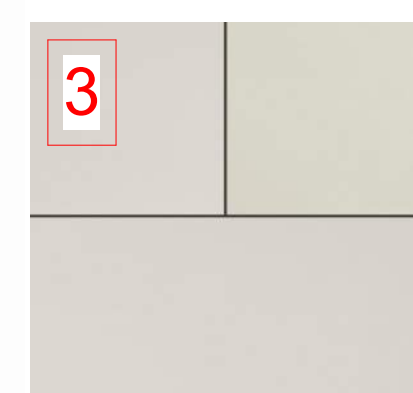
BLACK METAL PANEL ACCENTS
COLOR TO MATCH SHERWIN WILLIAMS SW 6258 TRICORN BLACK



NICHIHA VINTAGE WOOD CEDAR
EXTERIOR SIDING PANEL



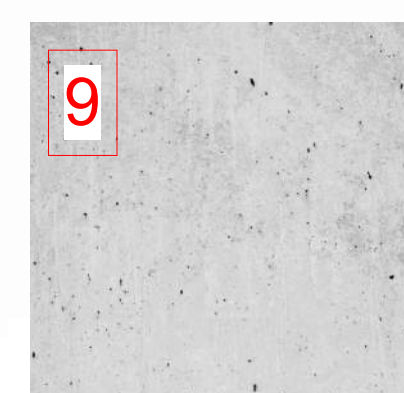
MOZ DESIGNS PERFORATED METAL PANEL WITH 1" CIRCLES OR SIMILAR
BALCONY GUARDRAILS



EQUITONE TECHTIVA TE 90 OR SIMILAR
EXTERIOR SIDING PANEL



BOARD FORM CONCRETE FITZGERALD 18917
BUILDING BASE AT LOBBY AND TRASH ROOM



CAST IN PLACE CONCRETE
PARKING GARAGE WALLS
STRUCTURAL COLUMNS

MATERIALS
NTS

DRAWING NAME:

ELEVATION - NORTH

Drawn By: KH

Checked By: ST

Owner Approval:

PHASE:

BUILDING STUDY SESSION PLAN SET

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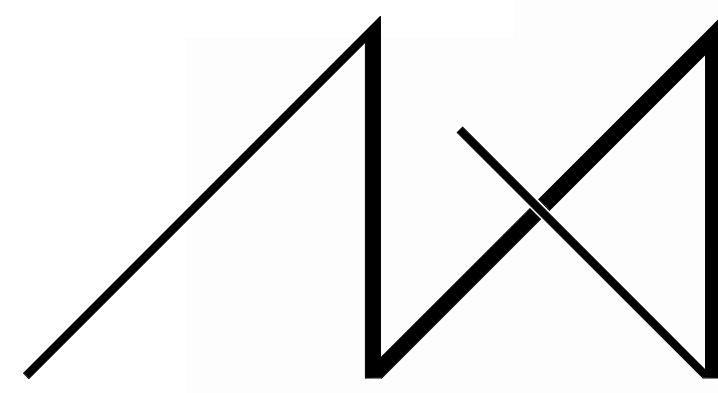
APPROVED FOR CONSTRUCTION:

PROJECT No.: A24 108

DATE: 2/20/2025
10:50:16 AM

PLOT SCALE: 1:1

A4.1



MEDICI ARCHITECTS

11711 SE 8TH STREET SUITE 100 BELLEVUE, WA 98005 TEL: (425) 453-9298
200 W. RIVER ST. SUITE 301 KETCHUM, ID 83340 TEL: (208) 726-0194

REGISTRATION:

PRELIMINARY

INTAKE DATE: 2/20/2025

REVISIONS:	DATE:

PROJECT / CLIENT:

2900 78TH AVE SE

2900 Development LLC

JOB ADDRESS:

2900 78TH AVE SE
MERCER ISLAND, 98040



1 WEST ELEVATION
1/4" = 1'-0"

	EQUITONE LUNARA LA 20 OR SIMILAR EXTERIOR SIDING PANEL		POWDER COATED METAL SHERWIN WILLIAMS SW 6258 - TRICORN BLACK		LIVING GREEN WALL VARIED SPECIES OF PLANTING WITH INTEGRATED IRRIGATION SYSTEM
	BLACK METAL PANEL ACCENTS COLOR TO MATCH SHERWIN WILLIAMS SW 6258 TRICORN BLACK		NICHIHA VINTAGE WOOD CEDAR EXTERIOR SIDING PANEL		MOZ DESIGNS PERFORATED METAL PANEL WITH 1" CICLES OR SIMILAR BALCONY GUARDRAILS
	EQUITONE TECHTIVA TE 90 OR SIMILAR EXTERIOR SIDING PANEL		BOARD FORM CONCRETE FITZGERALD 16917 BUILDING BASE AT LOBBY AND TRASH ROOM		CAST IN PLACE CONCRETE PARKING GARAGE WALLS STRUCTURAL COLUMNS

GENERAL NOTE:
FOR ITEMS BELOW, MATCH SW 6258

STRUCTURAL COLUMNS
ALUMINUM STOREFRONT SYSTEM
WINDOW AND DOOR FRAMES
RAILINGS
METAL AWNING
EXTERIOR DOORS
STEEL PLATES
LIGHT FIXTURES
GUTTERS / DOWNSPOUTS
FLASHING

MATERIALS
NTS

DRAWING NAME:

ELEVATION - WEST

Drawn By: KH
Checked By: ST
Owner Approval:

PHASE:

BUILDING STUDY SESSION PLAN SET

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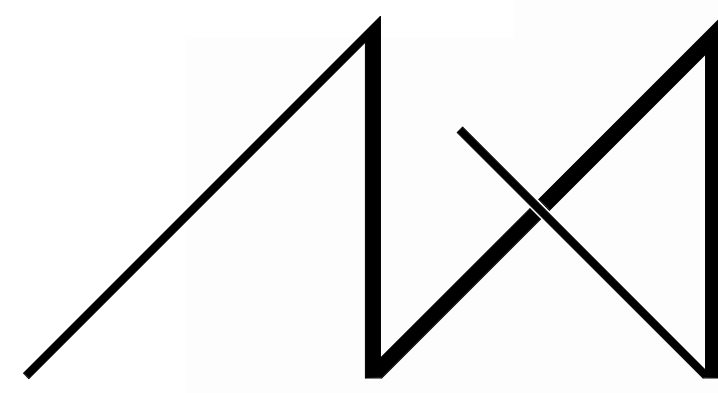
APPROVED FOR CONSTRUCTION:

PROJECT No.: A24 108

DATE: 2/20/2025
10:50:18 AM

PLOT SCALE: 1:1

A4.2



MEDICI ARCHITECTS

11711 SE 8TH STREET SUITE 100 BELLEVUE, WA 98005 TEL: (425) 453-9298
200 W. RIVER ST. SUITE 301 KETCHUM, ID 83340 TEL: (208) 726-0194

REGISTRATION:

PRELIMINARY

INTAKE DATE: 2/20/2025

REVISIONS:	DATE:

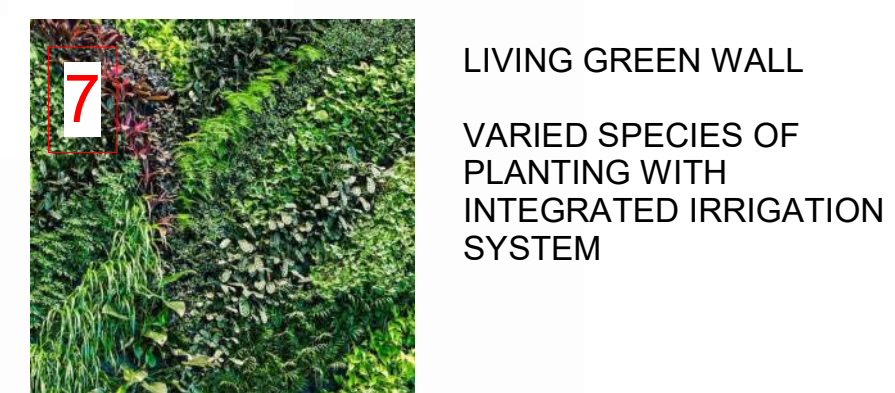
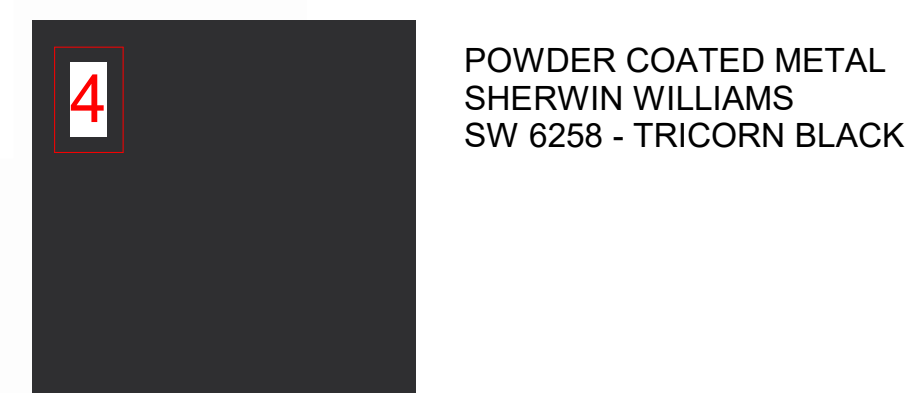
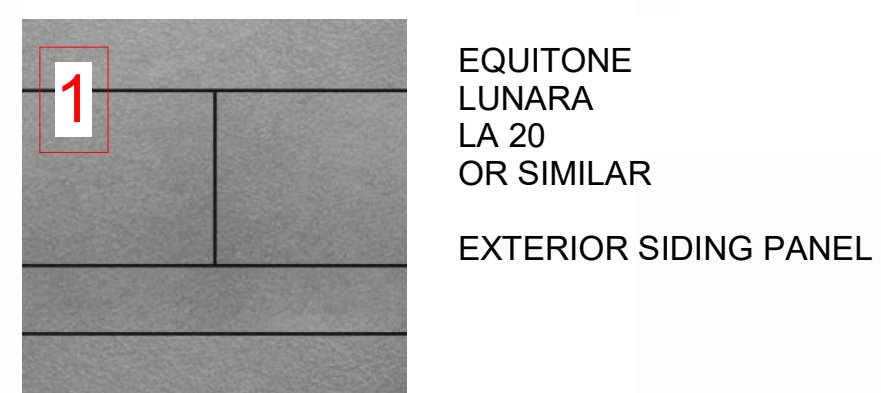
PROJECT / CLIENT:

2900 78TH AVE SE

2900 Development LLC

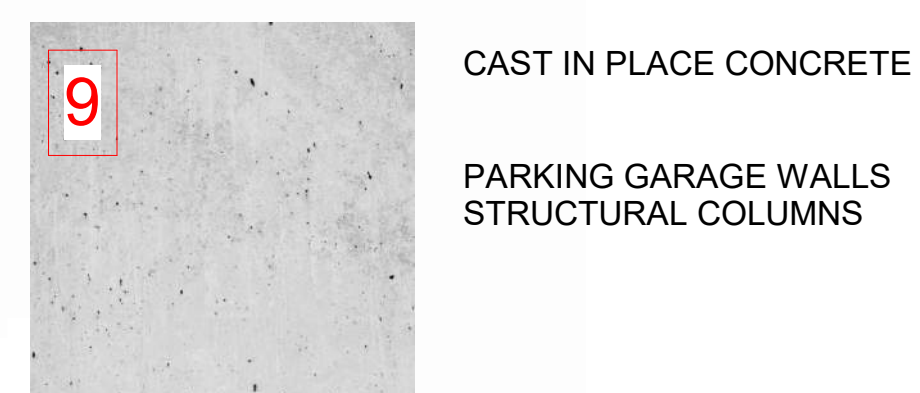
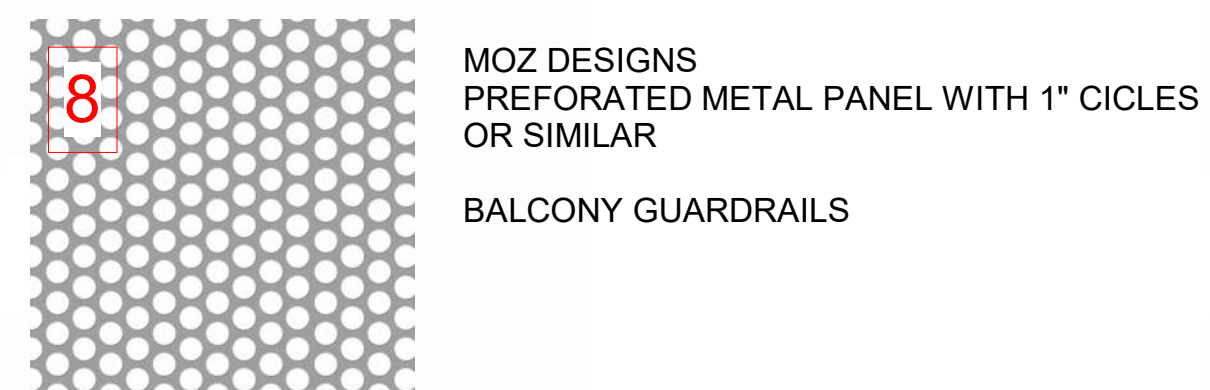
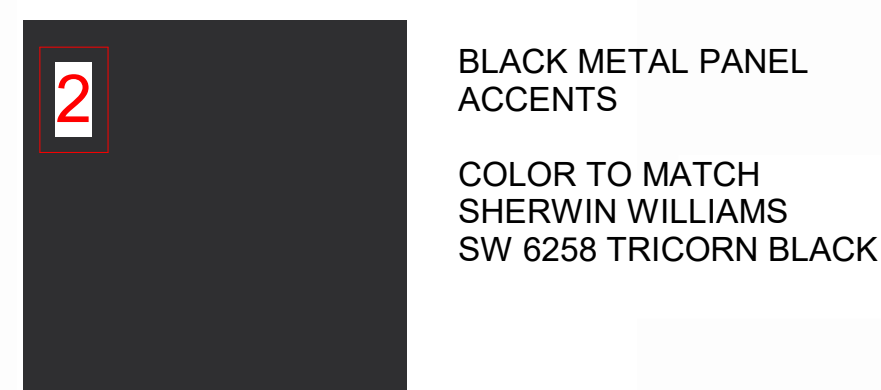
JOB ADDRESS:

2900 78TH AVE SE
MERCER ISLAND, 98040



GENERAL NOTE:
FOR ITEMS BELOW, MATCH SW 6258

STRUCTURAL COLUMNS
ALUMINUM STOREFRONT SYSTEM
WINDOW AND DOOR FRAMES
RAILINGS
METAL AWNING
EXTERIOR DOORS
STEEL PLATES
LIGHT FIXTURES
GUTTERS / DOWNSPOUTS
FLASHING



MATERIALS
NTS

DRAWING NAME:

ELEVATION - EAST

Drawn By: KH

Checked By: ST

Owner Approval:

PHASE:

BUILDING STUDY SESSION PLAN SET

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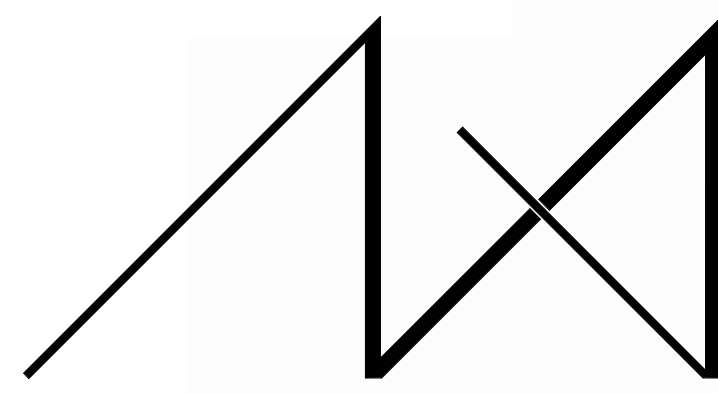
APPROVED FOR CONSTRUCTION:

PROJECT No.: A24 108

DATE: 2/20/2025
10:50:21 AM

PLOT SCALE: 1:1

A4.3



MEDICI ARCHITECTS

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200 W. RIVER ST. SUITE 301 KETCHUM, ID 83340 TEL: (208) 726-0194

REGISTRATION:

PRELIMINARY

INTAKE DATE: 2/20/2025

REVISIONS:	DATE:

PROJECT / CLIENT:

2900 78TH AVE SE

2900 Development LLC

JOB ADDRESS:

2900 78TH AVE SE
MERCER ISLAND, 98040



SW PERSPECTIVE
NTS



NW PERSPECTIVE
NTS



NE PERSPECTIVE
NTS



SE PERSPECTIVE
NTS

DRAWING NAME:

PERSPECTIVES

Drawn By: KH

Checked By: ST

Owner Approval:

PHASE:

BUILDING STUDY SESSION PLAN SET

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APPROVED FOR CONSTRUCTION:

NOTE: 3D RENDERINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY. NOT TO BE USED FOR CONSTRUCTION.

PROJECT No.: A24 108

DATE: 2/20/2025
10:50:30 AM

PLOT SCALE: 1:1

A4.4